



PHOTO#1.B EXIT DOOR TO BE REMOVED



PHOTO#2.B STAIR TO BE REMOVED



PHOTO#3.B EXISTING MECHANICAL ROOM



PHOTO#4.B EXISTING ELECTRICAL ROOM



PHOTO#5.B DOOR AND WINDOW TO BE REMOVED



PHOTO#6.B WALLS TO BE REMOVED



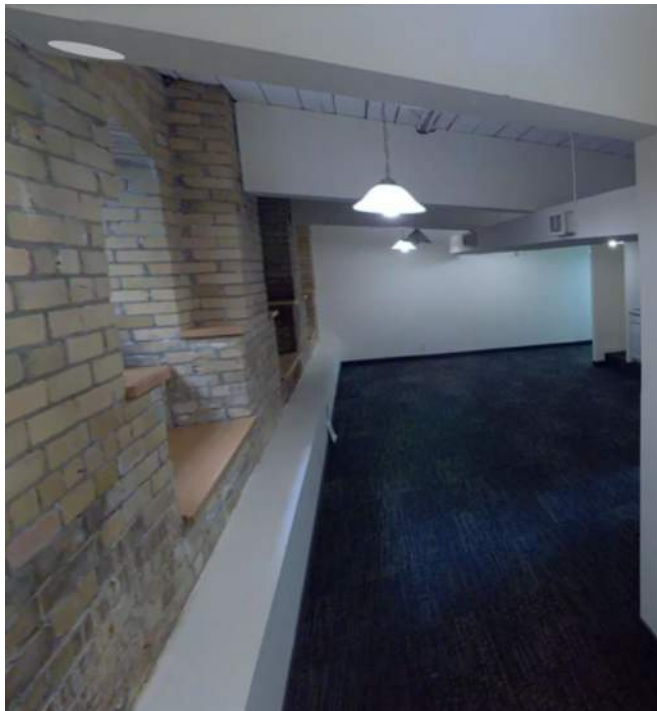
PHOTO#7.B EXISTING BASEMENT OPEN SPACE



PHOTO#8.B EXISTING OPEN SPACE



PHOTO#9.B EXISTING MECHANICAL ROOM



PHOTO#10.B EXISTING OPEN AREA

DEMOLITION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS: THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS. IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.
- FOR ALL DEMOLITION SCOPE, REFER TO SPECS AND DSS REPORT FOR AREAS THAT REQUIRE ABATEMENT. CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN DRAWINGS AND DSS REPORT TO DETERMINE THE EXTENT AND TYPE OF ABATEMENT FOR KNOWN AREAS.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONCRETE BLOCK WALL, PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
5	REMOVE EXISTING DOOR AND FRAME.
7	REMOVE EXISTING INTERIOR WINDOW AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
14	SAW CUT AND REMOVE FLOORING AND CONCRETE FLOOR SLAB/ CURB. LOWER EXISTING SLAB - REFER TO STRUCTURAL DWGS.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
41	REMOVE EXISTING GAS LINE AND WATER LINE ENCLOSURE. CLEAN AND REPAIR BRICK WALL.
42	REMOVE EXISTING PIPES ENCLOSURE. CLEAN AND REPAIR BRICK WALL.

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Arcadis Professional Services (Canada) Inc.

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H	ADDENDUM #2	2025-09-11

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SEAL

PRIME CONSULTANT



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PROJECT TITLE
50 RICHMOND ST. E.
RENOVATIONS

PROJECT ADDRESS

50 RICHMOND STREET EAST
TORONTO, ONTARIO

PROJECT NO:

9119-19-0162 / 30286113

DRAWN BY:

O. AVRAM

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

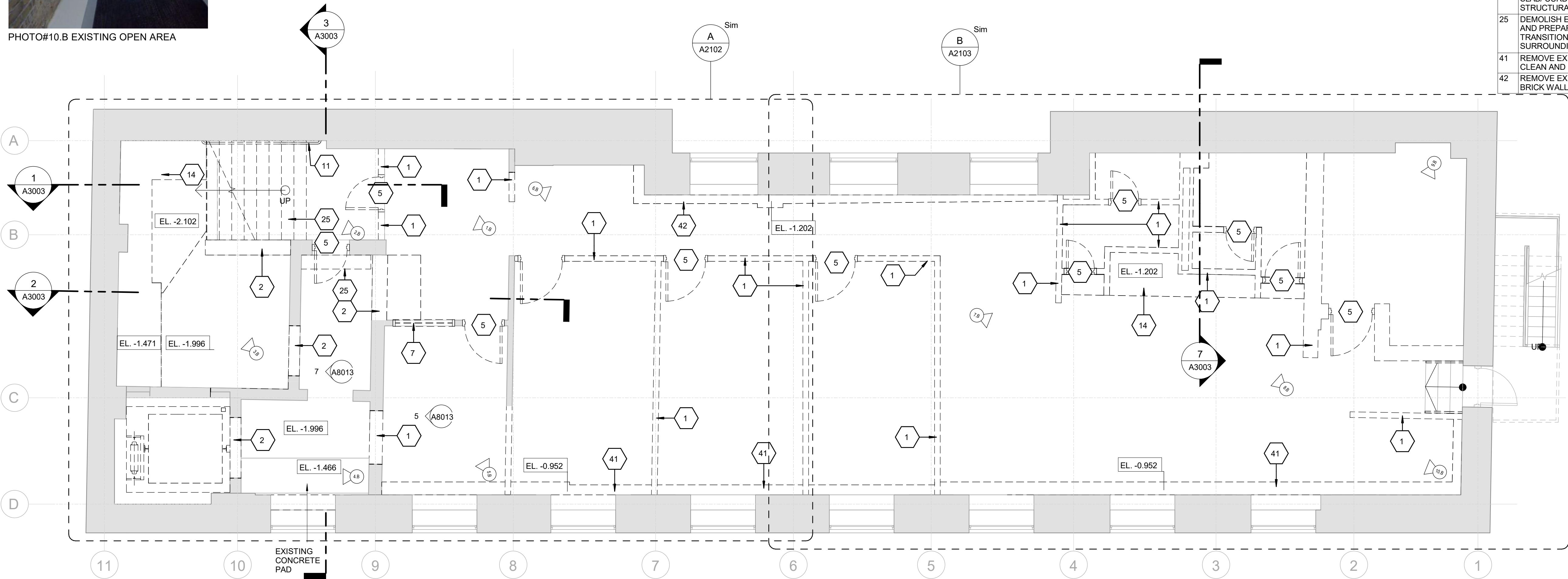
BASEMENT DEMOLITION
OVERALL PLAN

SHEET NUMBER

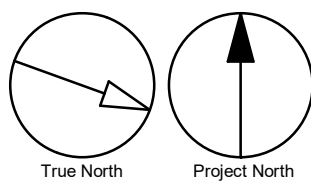
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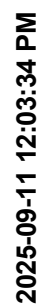
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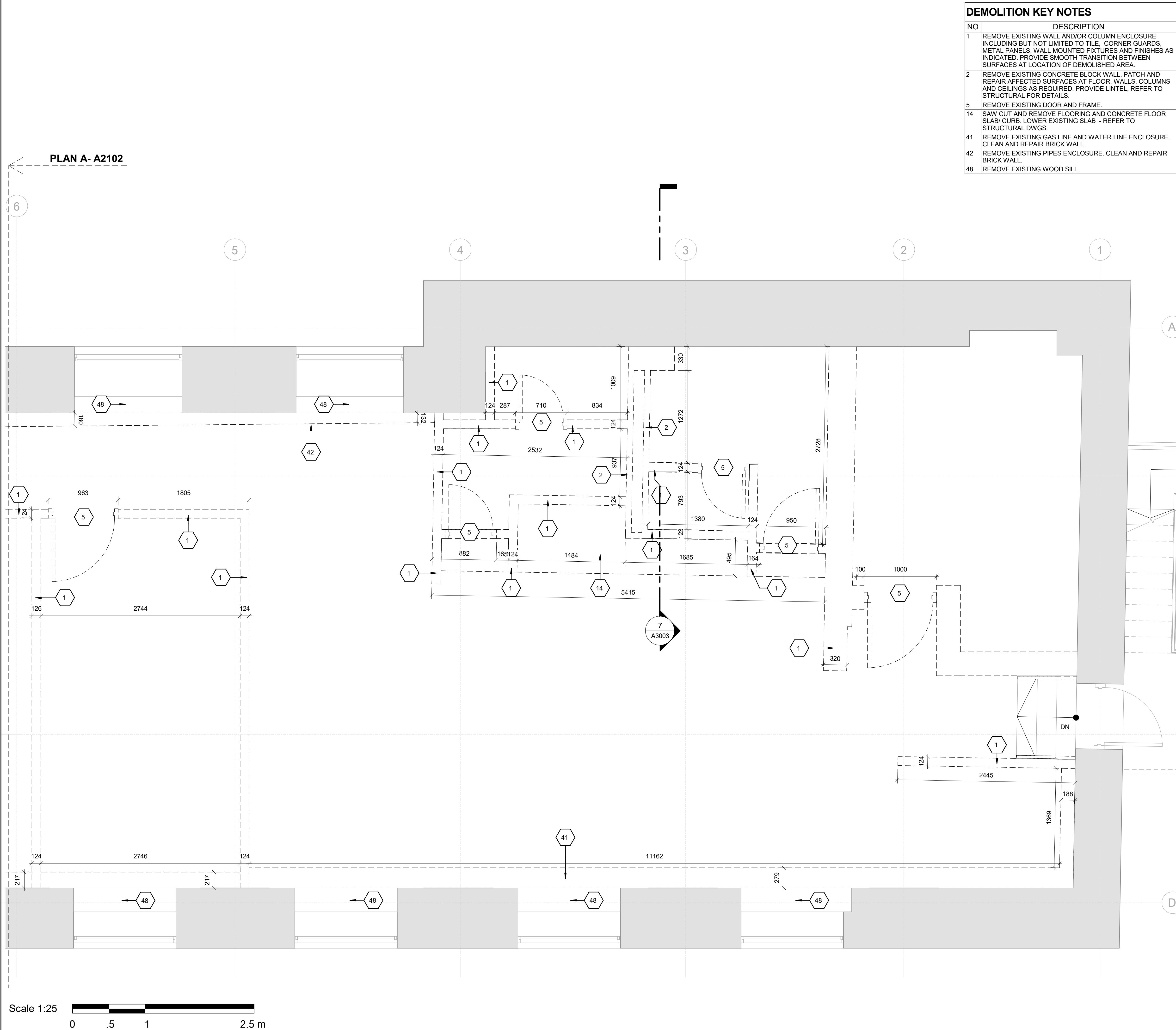
**PLAN B- A2103**

Project North

H

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SCALE CHECK	
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DEMOLITION KEY NOTES	
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2	REMOVE EXISTING CONCRETE BLOCK WALL. PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
5	REMOVE EXISTING DOOR AND FRAME.
14	SAW CUT AND REMOVE FLOORING AND CONCRETE FLOOR SLAB/ CURB. LOWER EXISTING SLAB - REFER TO STRUCTURAL DWGS.
41	REMOVE EXISTING GAS LINE AND WATER LINE ENCLOSURE. CLEAN AND REPAIR BRICK WALL.
42	REMOVE EXISTING PIPES ENCLOSURE. CLEAN AND REPAIR BRICK WALL.
48	REMOVE EXISTING WOOD SILL.

DEMOLITION KEY LEGEND	
	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES	
<ul style="list-style-type: none">PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS. IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X842) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR - TYP.REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.FOR ALL DEMOLITION SCOPE, REFER TO SPECS AND DSS REPORT FOR AREAS THAT REQUIRE ABATEMENT. CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN DRAWINGS AND DSS REPORT TO DETERMINE THE EXTENT AND TYPE OF ABATEMENT FOR KNOWN AREAS.	

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CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
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KEYPLAN

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PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

BASEMENT DEMOLITION
ENLARGED PLAN B

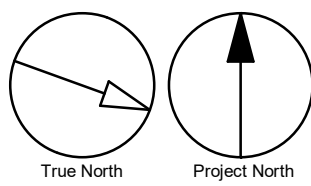
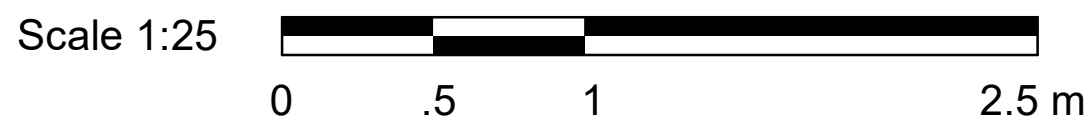
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A2103

ISSUE

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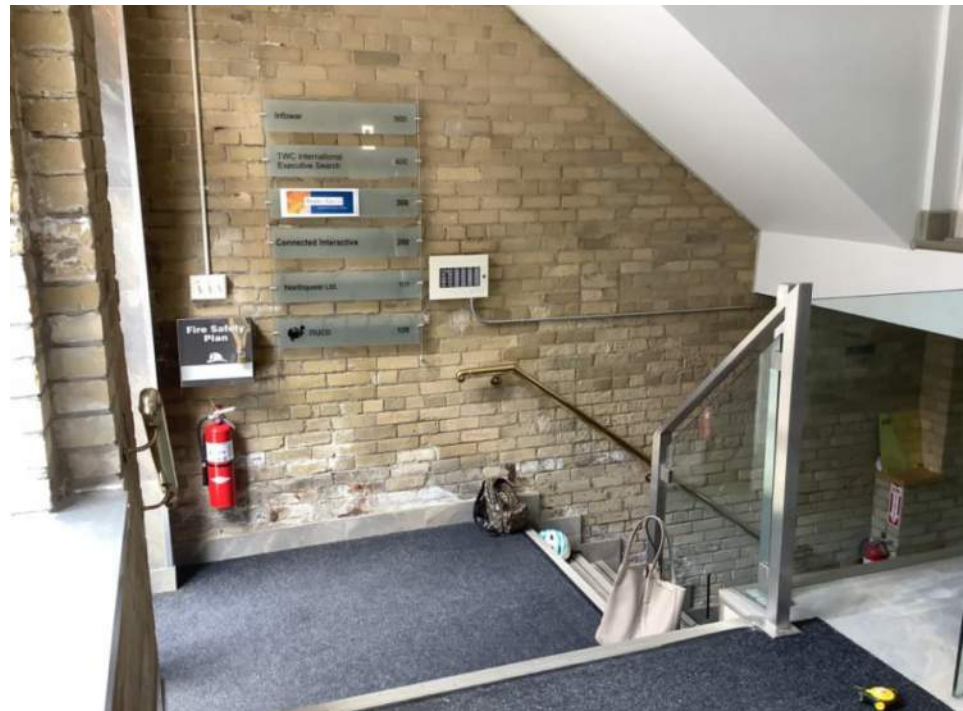
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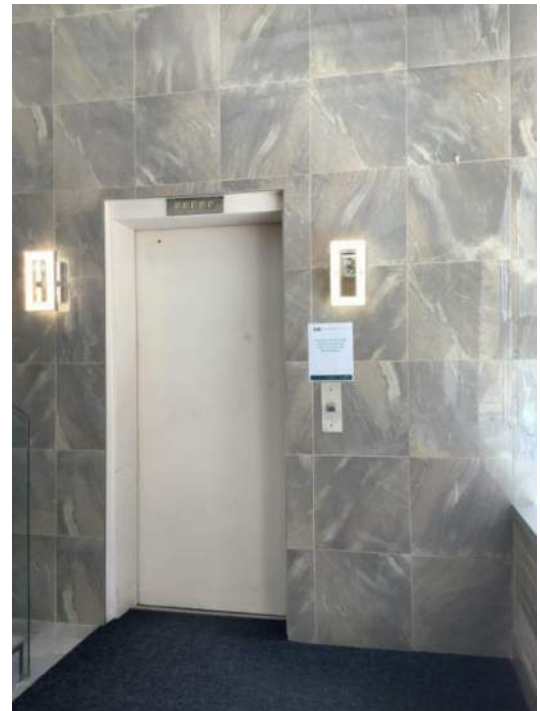
PHOTO#1.1 DOOR TO BE REPLACED



PHOTO#2.1 ENTRANCE STAIR TO BE REMOVED



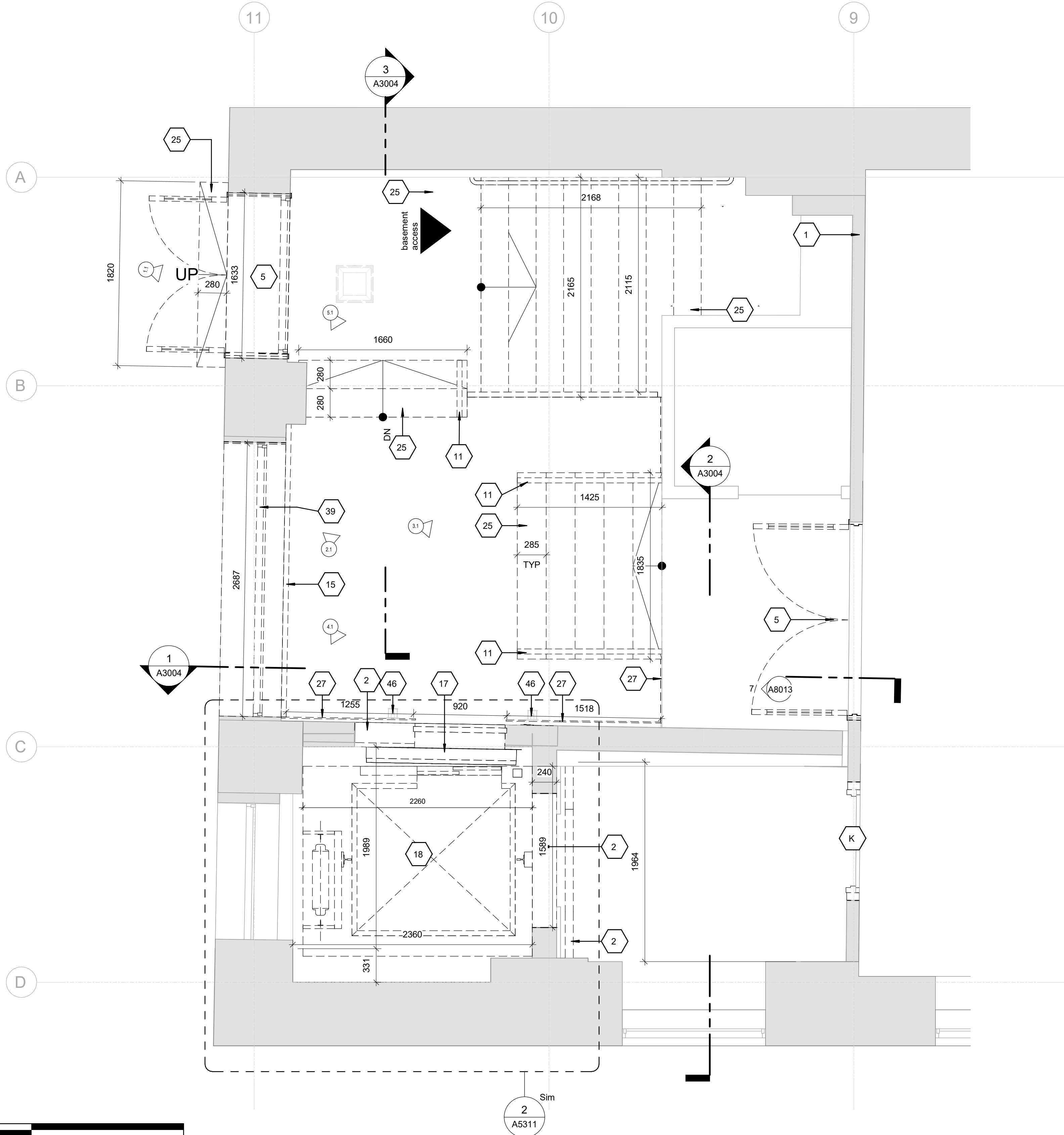
PHOTO#3.1 GROUND FLOOR ACCESS STAIR TO BE REMOVED



PHOTO#4.1 DOOR TO BE REMOVED



PHOTO#5.1 FIRST FLOOR ACCESS STAIR TO BE REMOVED



DEMOLITION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS:** REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS- THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH.** CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS.** IN ORDER TO APPLY INTUMESCENT COATINGS WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.
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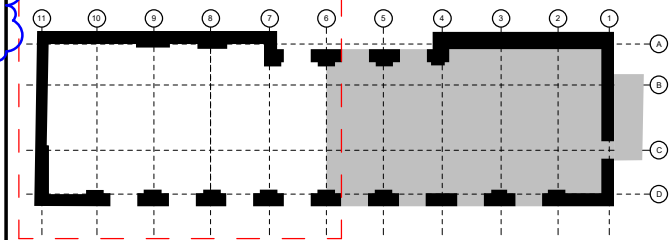
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5	REMOVE EXISTING DOOR AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
15	CLEAN AND PREPARE BRICK WALL FOR NEW CLADDING.
17	REMOVE ELEVATOR HALL DOOR.
18	REMOVE ELEVATOR CAB AND EQUIPMENT.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
27	REMOVE EXISTING WALL TILE. SITE-VERIFY, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW TILE FINISH IN THE GROUND FLOOR- MAIN RECEPTION AREA. REFER TO FINISH SCHEDULE.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.
46	REMOVE EXISTING WALL LAMP.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9004, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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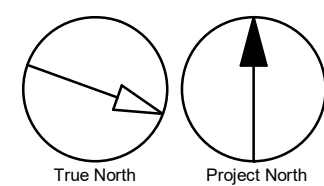
PROJECT TITLE
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PROJECT ADDRESS
**50 RICHMOND STREET EAST
TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113
DRAWN BY:
O. AVRAM
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
L. BANDIERA
APPROVED BY:
E. FENUITA

SHEET TITLE
**GROUND FLOOR
DEMOLITION PLAN**

SHEET NUMBER
A2111
ISSUE
H





PHOTO#5.1 EXISTING WALL TO BE REMOVED



PHOTO#6.1 DOOR AND FRAMING TO BE REMOVED



PHOTO#7.1 FIRST FLOOR ACCESS STAIR TO BE REMOVED



PHOTO#8.1 EXISTING DOORS TO BE REMOVED



PHOTO#9.1 OFFICE WALLS TO BE REMOVED



PHOTO#10.1 EXISTING OPEN SPACE



PHOTO#11.1 EXISTING KITCHEN TO BE REMOVED



PHOTO#12.1 EXISTING PARTITIONS TO BE REMOVED



PHOTO#13.1 EXISTING WASHROOM TO BE REMOVED



PHOTO#14.1 EXISTING WALLS TO BE REMOVED

DEMOLITION KEY LEGEND

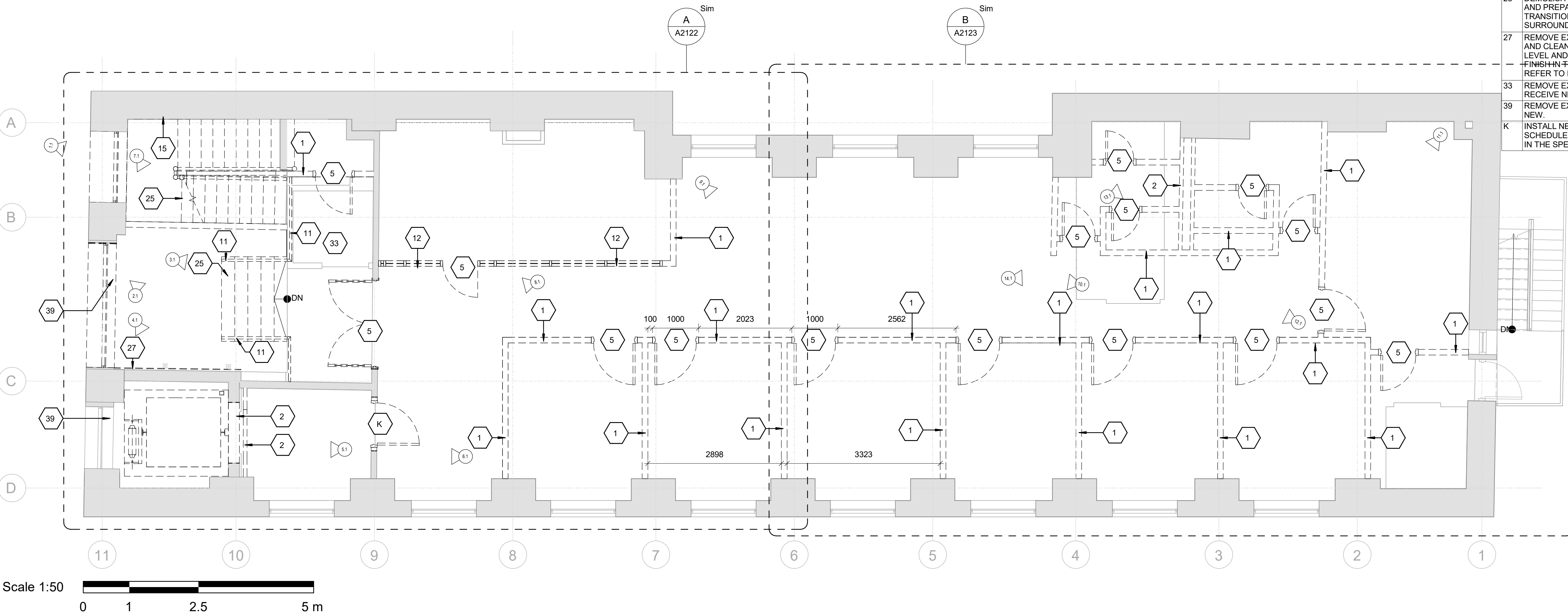
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- EXISTING PARTITION TO REMAIN
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DEMOLITION GENERAL NOTES

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5	REMOVE EXISTING DOOR AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
12	REMOVE EXISTING GLASS PARTITION WALL, INCLUDING DOORS AND FRAMES.
15	CLEAN AND PREPARE BRICK WALL FOR NEW CLADDING.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
27	REMOVE EXISTING WALL TILE. SITE-VERIFY, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW TILE FINISH IN THE GROUND FLOOR- MAIN RECEPTION AREA. REFER TO FINISH SCHEDULE.
33	REMOVE EXISTING TILES, CLEAN AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9004, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



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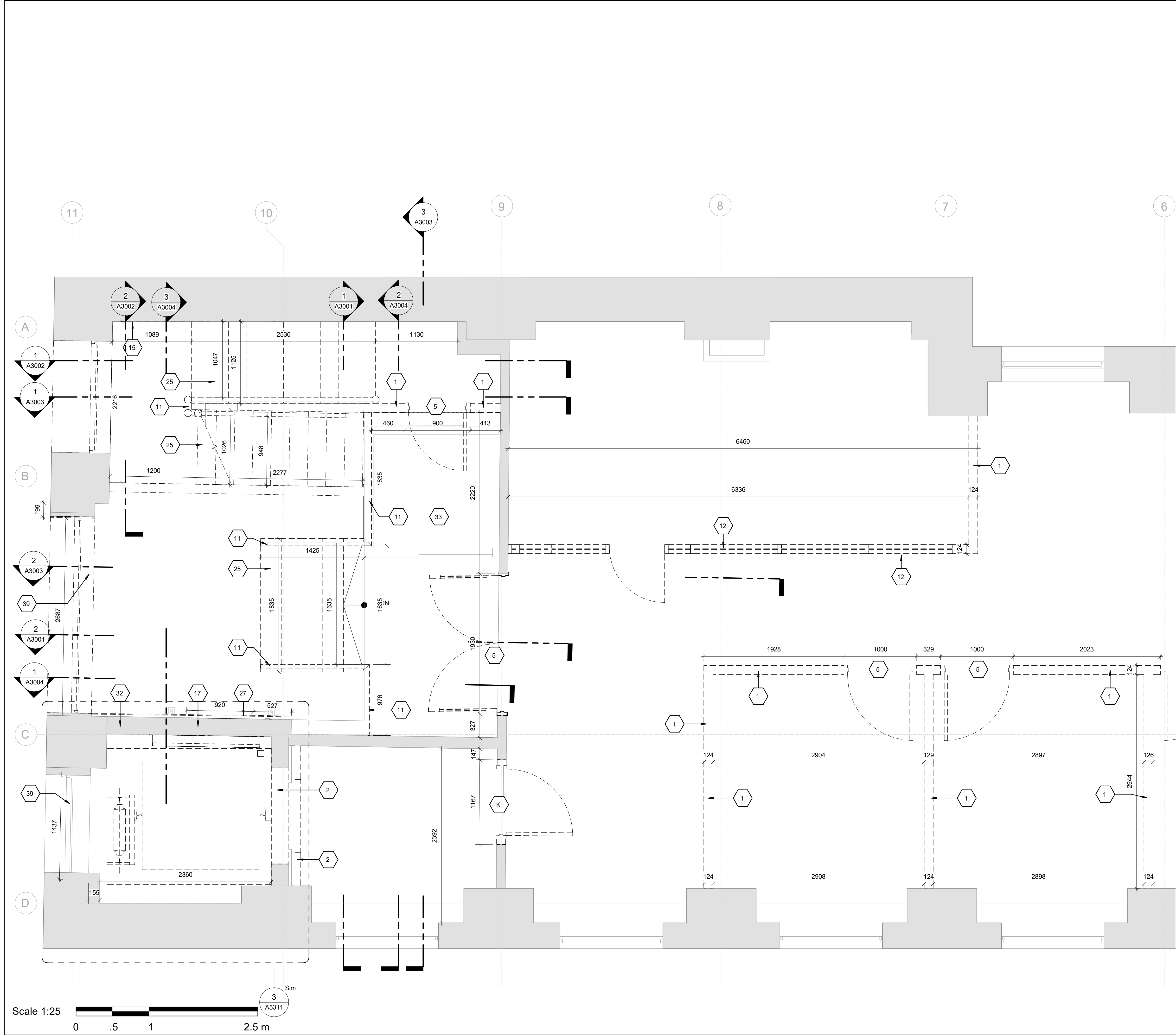
**FIRST FLOOR DEMOLITION
OVERALL PLAN**

SHEET NUMBER

A2121

ISSUE

H



DEMOLITION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

DEMOLITION GENERAL NOTES

PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.

REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.

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REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

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5	REMOVE EXISTING DOOR AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
12	REMOVE EXISTING GLASS PARTITION WALL, INCLUDING DOORS AND FRAMES.
15	CLEAN AND PREPARE BRICK WALL FOR NEW CLADDING.
17	REMOVE ELEVATOR HALL DOOR.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
27	REMOVE EXISTING WALL TILE. SITE-VERIFY, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW TILE FINISH IN THE GROUND FLOOR- MAIN RECEPTION AREA. REFER TO FINISH SCHEDULE.
32	LOWER AND WIDEN ELEVATOR HALL DOOR OPENING TO FIT NEW ELEVATOR HALL DOOR.
33	REMOVE EXISTING TILES, CLEAN AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9004, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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Project Management Office
Metro Hall Toronto, ON
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F	ISSUED FOR PERMIT 100%	2025-07-31
H	ADDENDUM #2	2025-09-11

KEYPLAN

CONSULTANTS

SEAL

PRIME CONSULTANT

100 - 175 Galaxy Blvd,
Toronto, ON M9W 0C9, Canada
tel 416 679 1930
www.arcadis.com

PROJECT TITLE

50 RICHMOND ST. E.
RENOVATIONS

PROJECT ADDRESS

50 RICHMOND STREET EAST
TORONTO, ONTARIO

PROJECT NO:

9119-19-0162 / 30286113

DRAWN BY:

O. AVRAM

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

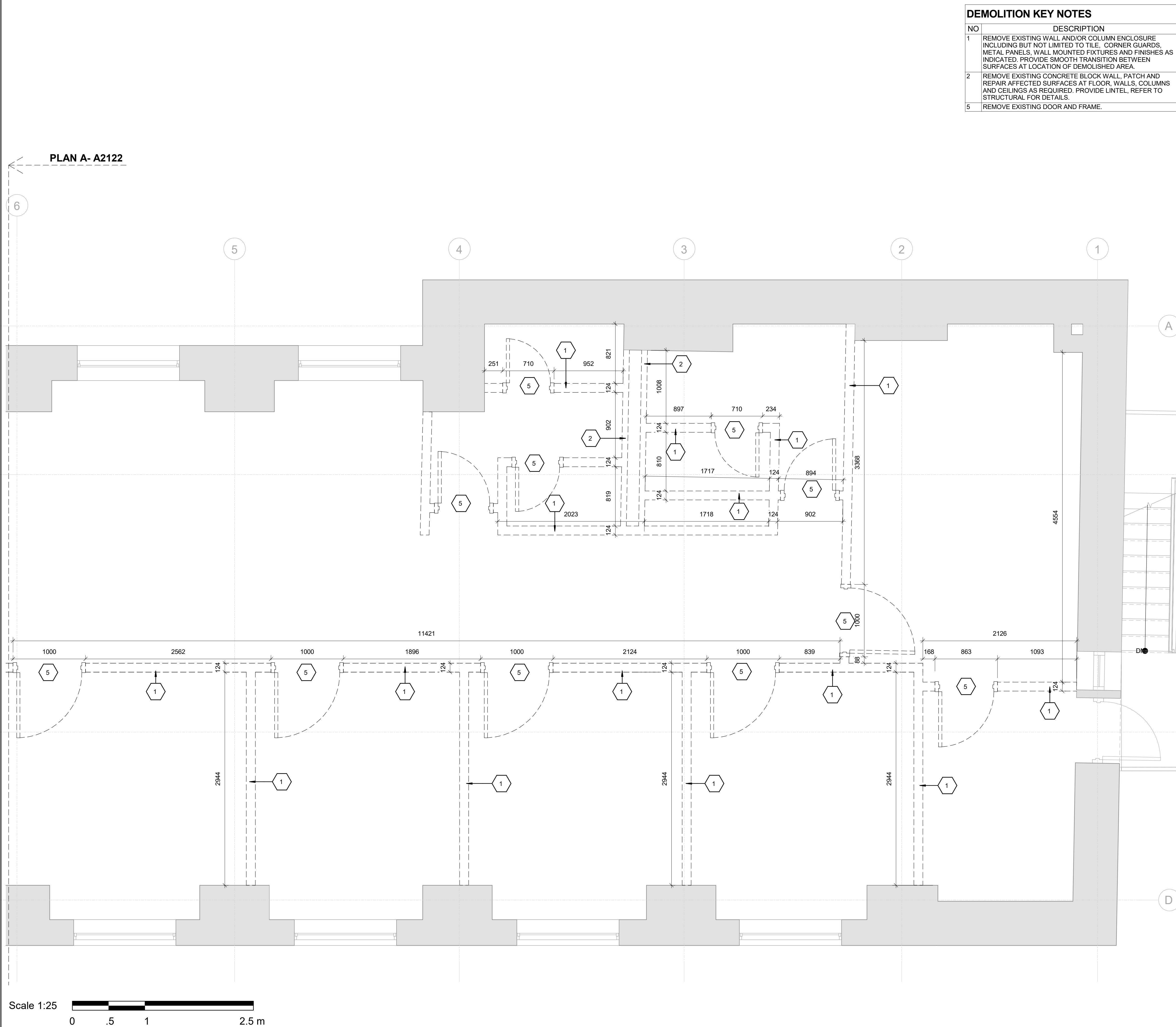
FIRST FLOOR DEMOLITION
ENLARGED PLAN A

SHEET NUMBER

A2122

ISSUE

H



DEMOLITION KEY NOTES	
NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONCRETE BLOCK WALL, PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
5	REMOVE EXISTING DOOR AND FRAME.

DEMOLITION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH: CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS, IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X842) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.
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KEYPLAN

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O. AVRAM

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L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

FIRST FLOOR DEMOLITION
ENLARGED PLAN B

SHEET NUMBER

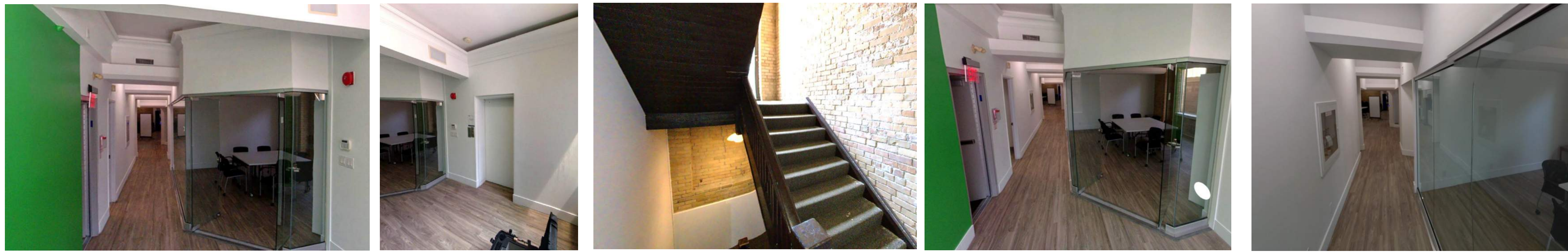
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ISSUE

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PHOTO#1.2 GLASS PARTITIONS TO BE REMOVED PHOTO#2.2 EXISTING HALLWAY PHOTO#3.2 EXISTING STAIRS PHOTO#4.2 EXISTING GLASS PARTITIONS TO BE REMOVED PHOTO#5.2 EXISTING PARTITIONS TO BE REMOVED



PHOTO#6.2 EXISTING WALLS TO BE REMOVED PHOTO#7.2 EXISTING PARTITIONS TO BE REMOVED PHOTO#8.2 EXISTING OPEN SPACE PHOTO#9.2 EXISTING OPEN SPACE



PHOTO#10.2 DOORS AND PARTITIONS TO BE REMOVED PHOTO#11.2 OFFICE PARTITIONS TO BE REMOVED PHOTO#12.2 OFFICE PARTITIONS TO BE REMOVED

DEMOLITION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
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12	REMOVE EXISTING GLASS PARTITION WALL, INCLUDING DOORS AND FRAMES.
17	REMOVE ELEVATOR HALL DOOR.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
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47	REMOVE EXISTING WALL ENCLOSURE AND FINISH IN THE ELEVATOR AREA. TO BE SITE-VERIFIED. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. REFER TO FINISH SCHEDULE.

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www.arcadis.com

PROJECT TITLE

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RENOVATIONS**

PROJECT ADDRESS

**50 RICHMOND STREET EAST
TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

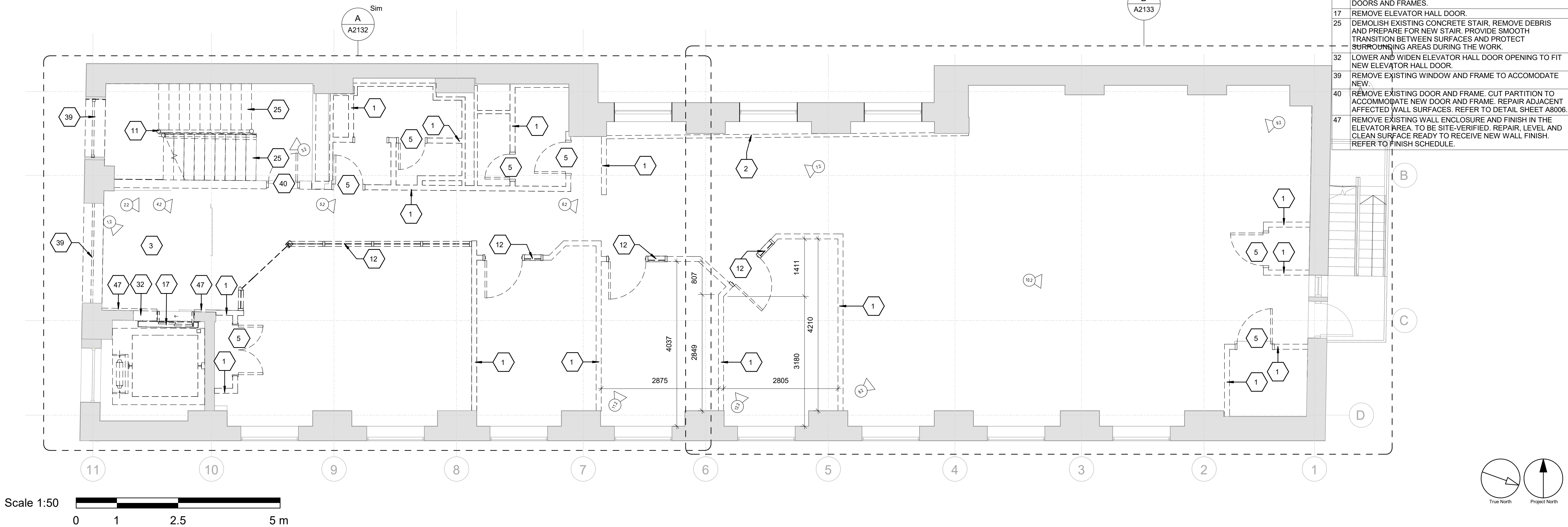
**SECOND FLOOR
DEMOLITION OVERALL
PLAN**

SHEET NUMBER

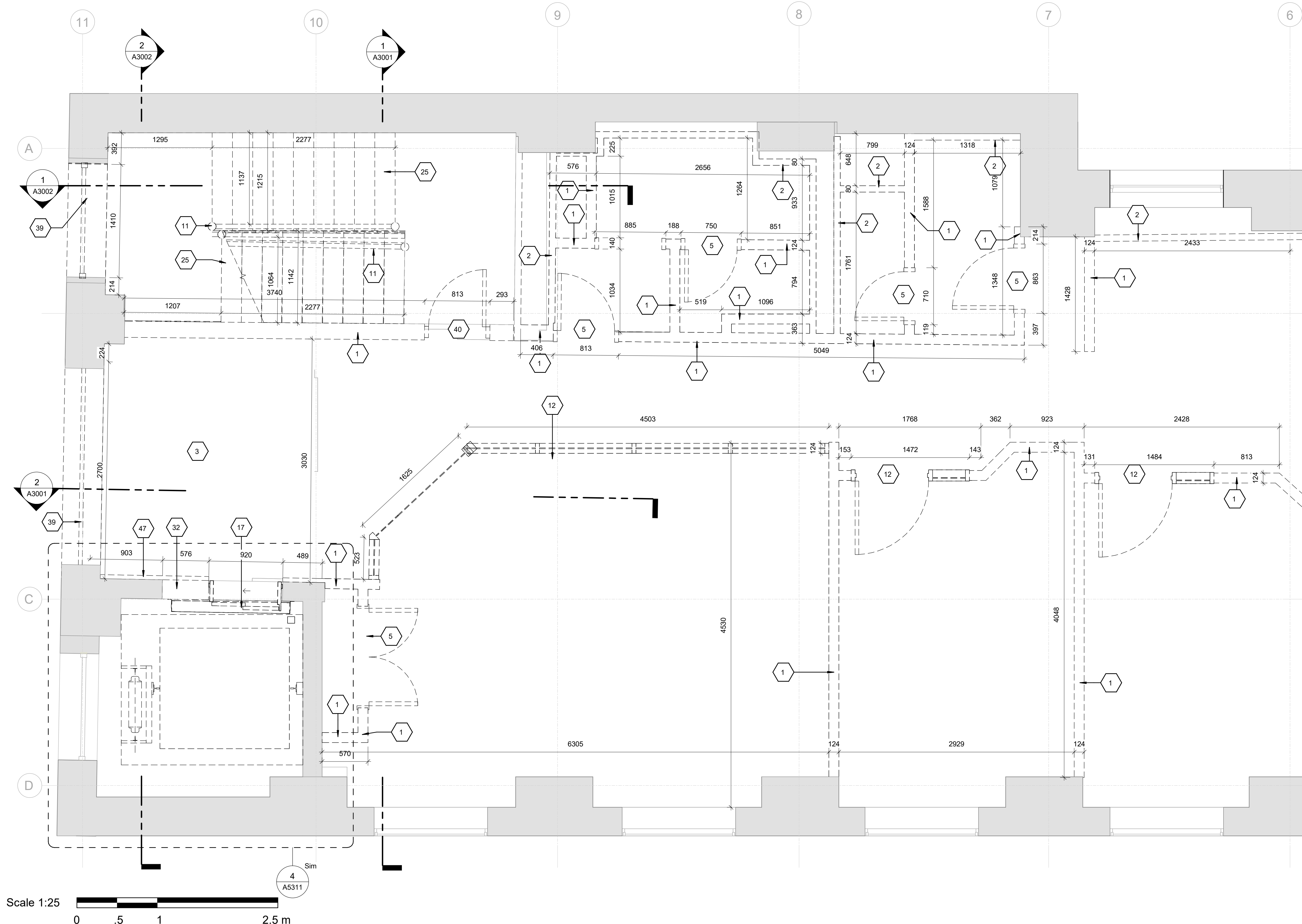
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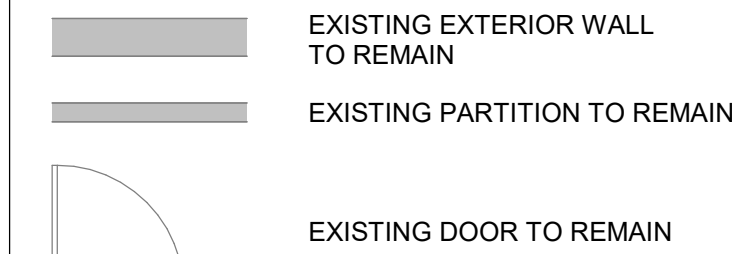
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DEMOLITION KEY LEGEND



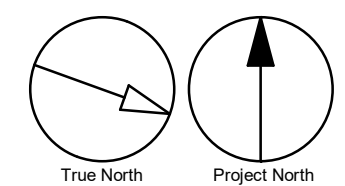
DEMOLITION GENERAL NOTES

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47	REMOVE EXISTING WALL ENCLOSURE AND FINISH IN THE ELEVATOR AREA. TO BE SITE-VERIFIED. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. REFER TO FINISH SCHEDULE.

PLAN B- A2133



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H	ADDENDUM #2	2025-09-11

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SEAL

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PROJECT TITLE

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RENOVATIONS**

PROJECT ADDRESS

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TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

**SECOND FLOOR
DEMOLITION ENLARGED
PLAN A**

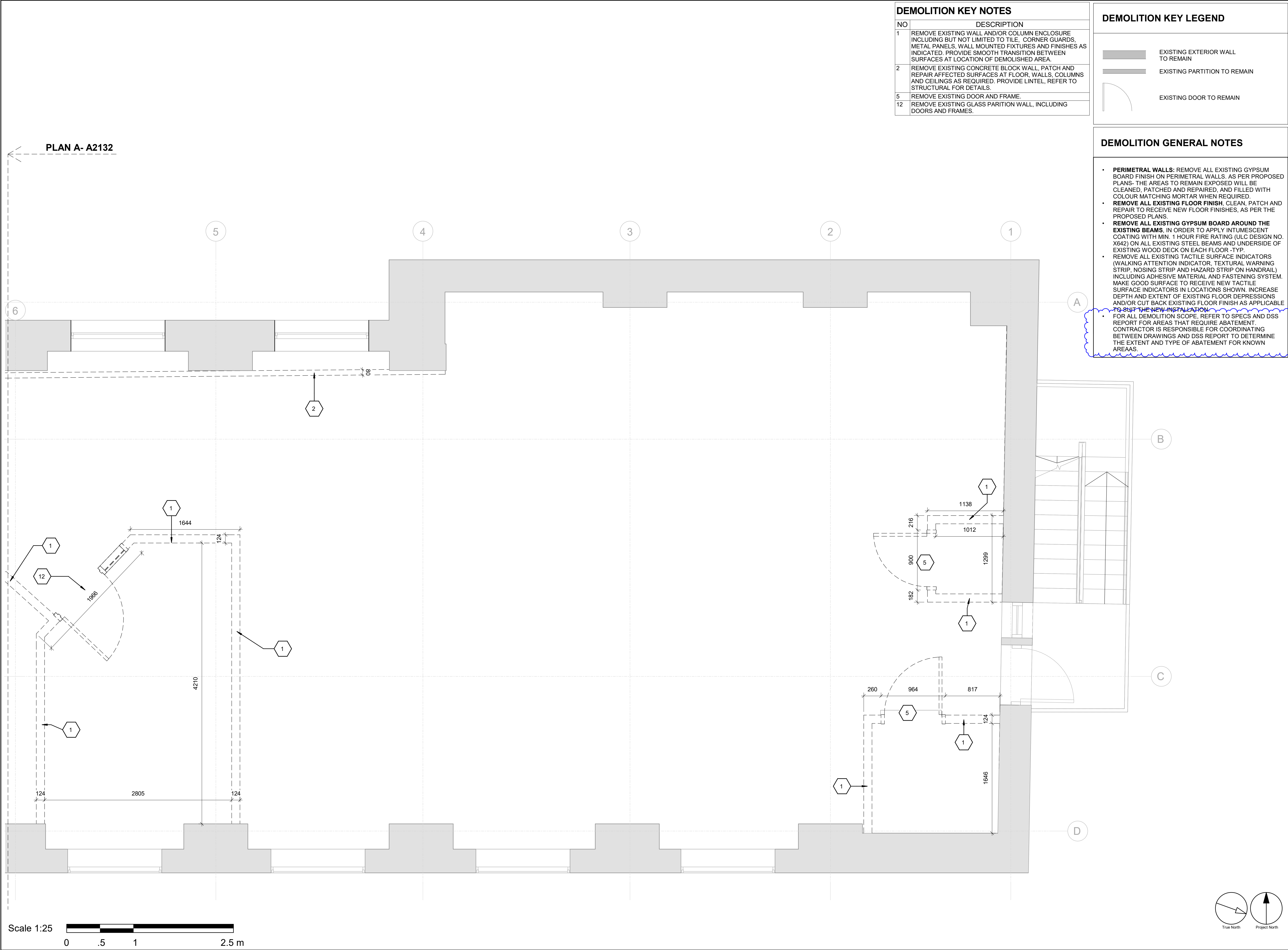
SHEET NUMBER

A2132

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APPROVED BY:
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SHEET TITLE

SECOND FLOOR
DEMOLITION ENLARGED
PLAN B

SHEET NUMBER

A2133

ISSUE

H

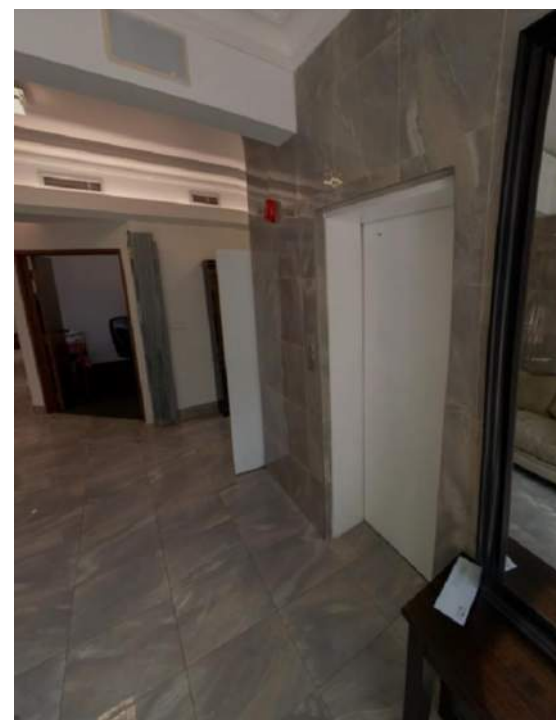


PHOTO #1.3 DOOR AND FRAME TO BE REMOVED



PHOTO#2.3 EXISTING HALL



PHOTO#3.3 ELEVATOR DOOR AND FRAME TO BE REMOVED



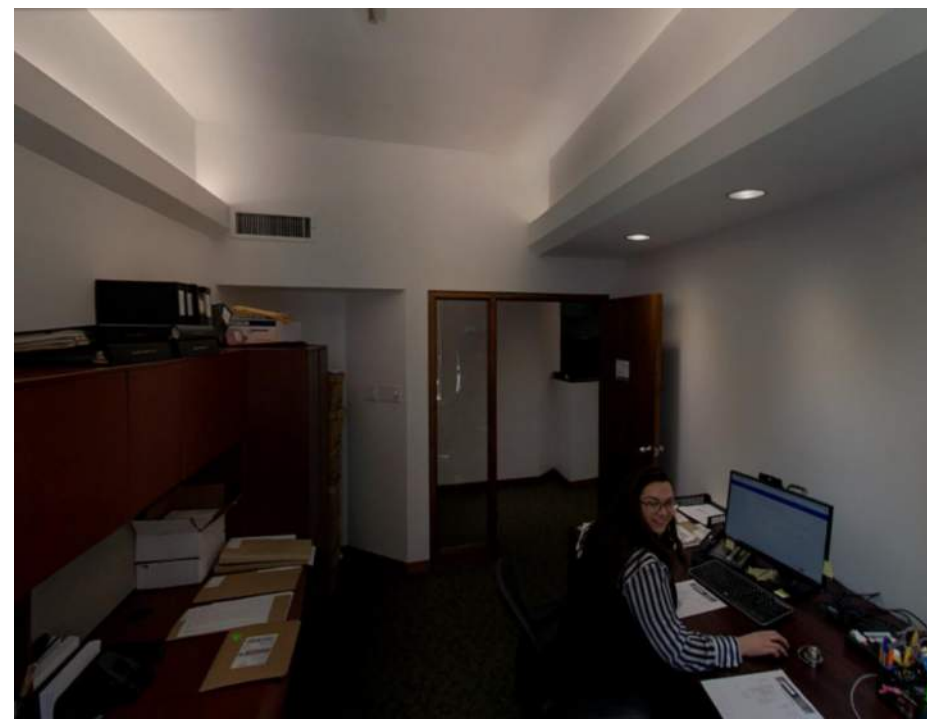
PHOTO#4.3 EXISTING HALLWAY



PHOTO#5.3 OFFICE WALLS TO BE REMOVED



PHOTO#6.3 OFFICE WALLS TO BE REMOVED



PHOTO#7.3 OFFICE WALLS TO BE REMOVED



PHOTO#8.3 OFFICE WALLS TO BE REMOVED



PHOTO#9.3 OFFICE WALLS TO BE REMOVED



PHOTO#10.3 OFFICE WALLS TO BE REMOVED



PHOTO#11.3 OFFICE WALLS TO BE REMOVED



PHOTO#12.3 OFFICE WALLS TO BE REMOVED



PHOTO#13.3 OFFICE WALLS TO BE REMOVED

DEMOLITION KEY LEGEND

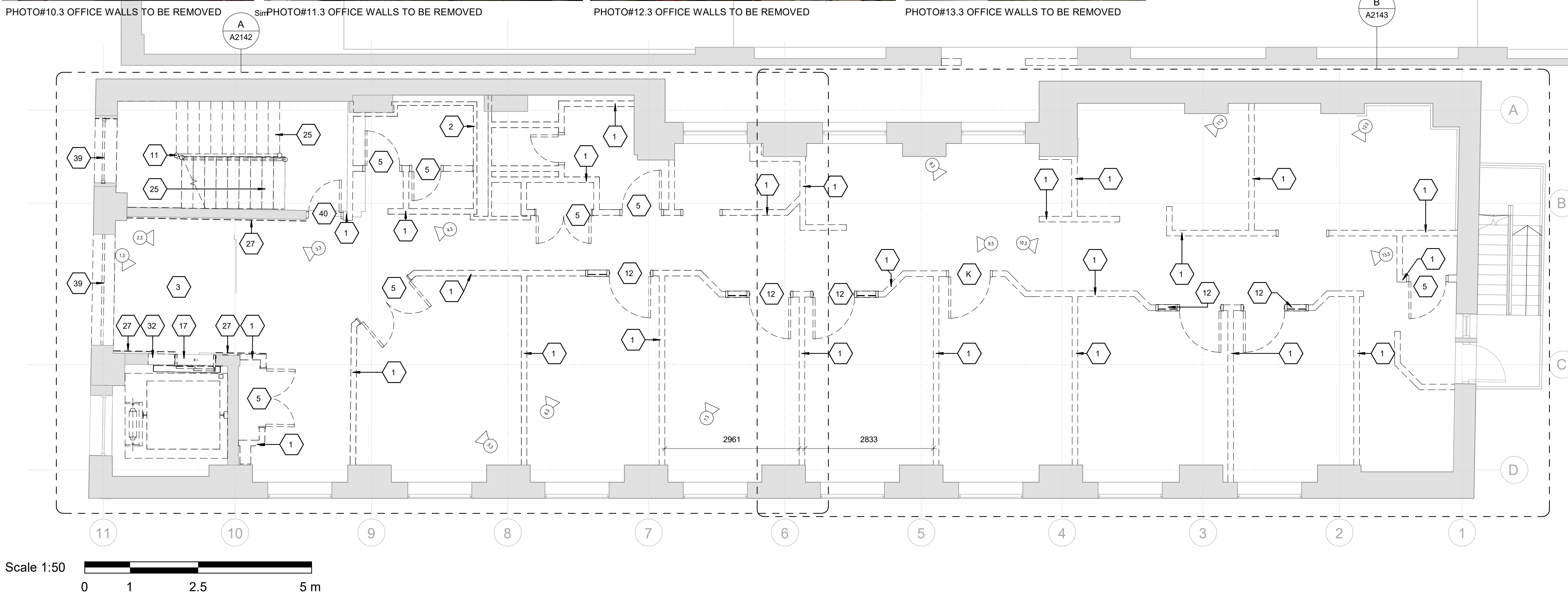
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- EXISTING PARTITION TO REMAIN
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K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9004, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



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D	60% REVIEW SET	2025-07-03
F	ISSUED FOR PERMIT 100%	2025-07-31
G	ISSUED FOR TENDER	2025-09-02
H	ADDENDUM #2	2025-09-11

CONSULTANTS

SEAL

PRIME CONSULTANT

ARCADIS

100 - 175 Galaxy Blvd,
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tel 416 679 1930
www.arcadis.com

PROJECT TITLE
**50 RICHMOND ST. E.
RENOVATIONS**

PROJECT ADDRESS
**50 RICHMOND STREET EAST
TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY: O. AVRAM	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**THIRD FLOOR DEMOLITION
OVERALL PLAN**

SHEET NUMBER A2141	ISSUE H
------------------------------	-------------------

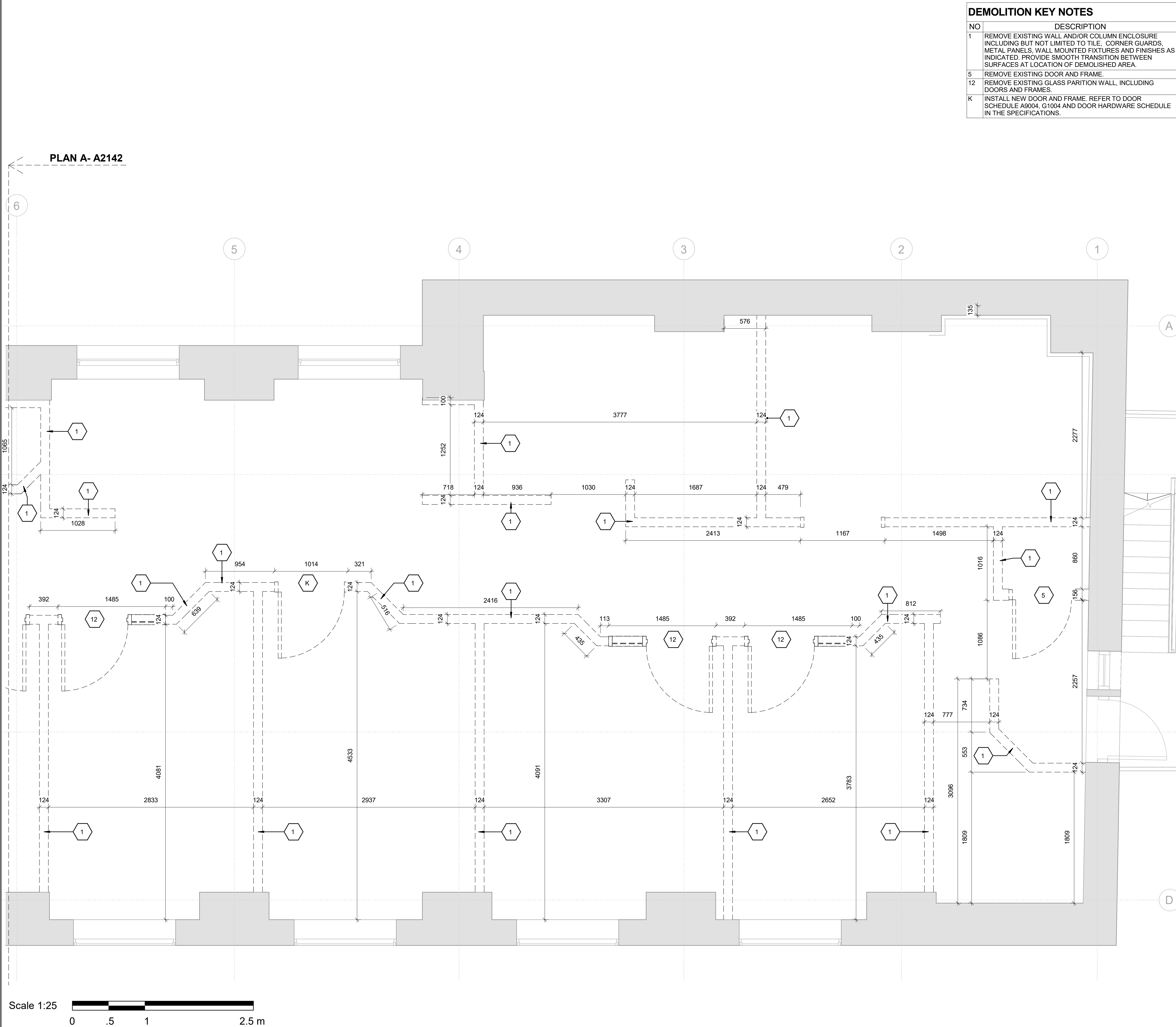


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A5311

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ISSUE
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DEMOLITION KEY NOTES	
NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
5	REMOVE EXISTING DOOR AND FRAME.
12	REMOVE EXISTING GLASS PARTITION WALL, INCLUDING DOORS AND FRAMES.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9004, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

DEMOLITION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS- THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS, IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.
- FOR ALL DEMOLITION SCOPE, REFER TO SPECS AND DSS REPORT FOR AREAS THAT REQUIRE ABATEMENT. CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN DRAWINGS AND DSS REPORT TO DETERMINE THE EXTENT AND TYPE OF ABATEMENT FOR KNOWN AREAS.

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KEYPLAN

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CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

THIRD FLOOR DEMOLITION
ENLARGED PLAN B

SHEET NUMBER

A2143

ISSUE

H

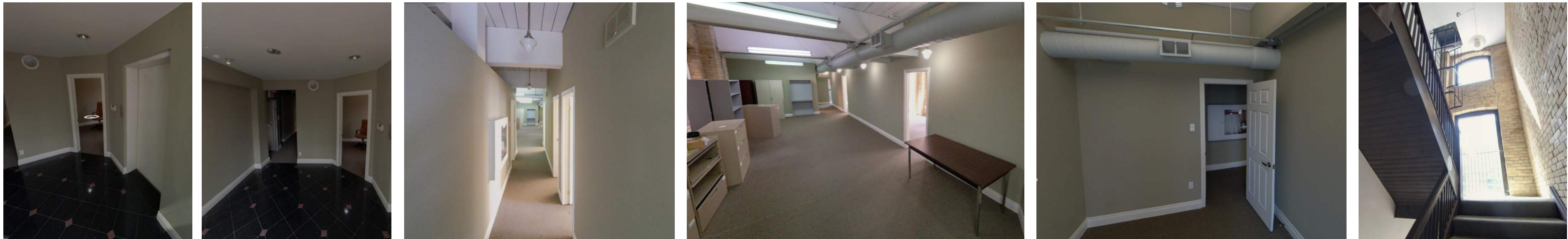
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True North

Project North

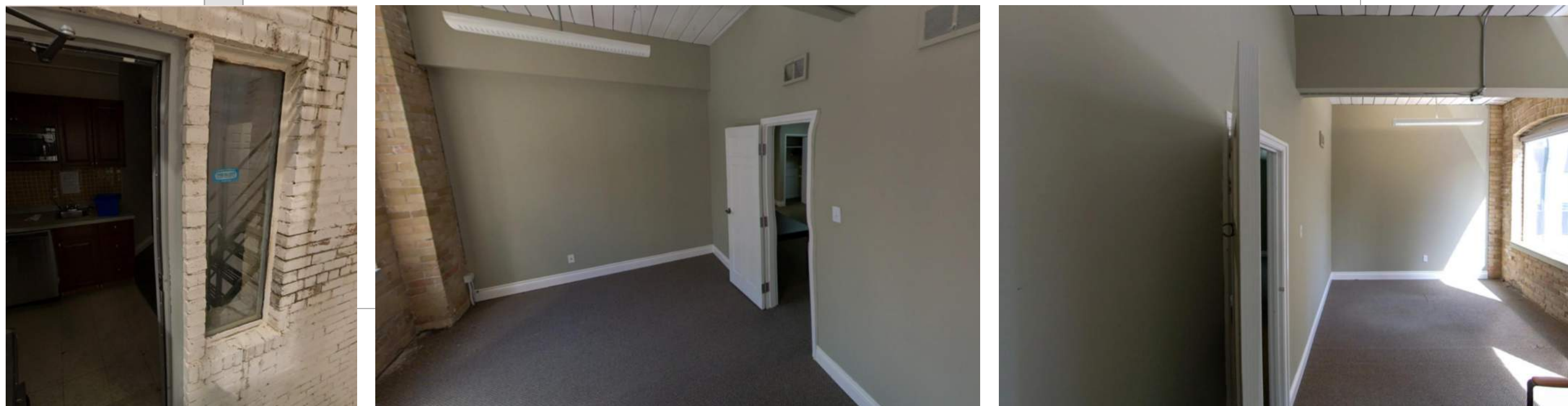
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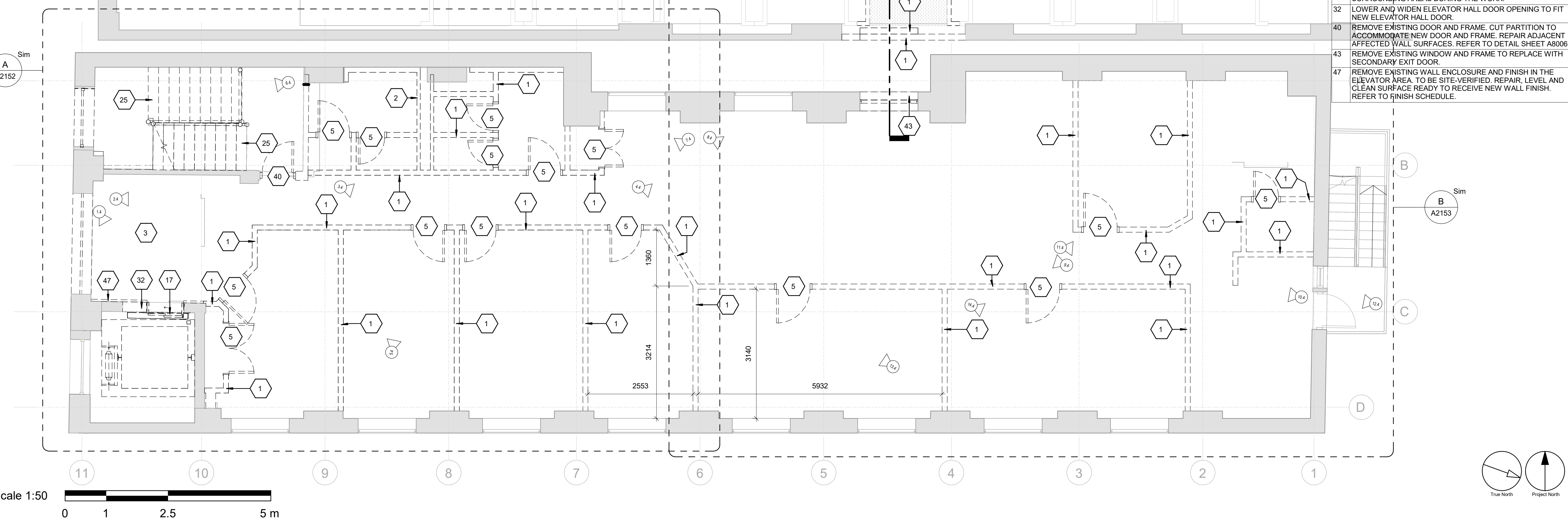
PHOTO#1.4 WALLS TO BE REMOVED PHOTO#2.4 WALLS TO BE REMOVED PHOTO#3.4 HALLWAY WALLS TO BE REMOVED PHOTO#4.4 WALLS TO BE REMOVED PHOTO#5.4 OFFICE WALLS TO BE REMOVED PHOTO#6.4 EXISTING STAIR



PHOTO#7.4 WALLS TO BE REMOVED PHOTO#8.4 EXISTING WALLS TO BE REMOVED PHOTO#9.4 EXISTING OPEN SPACE PHOTO#10.4 WALLS TO BE REMOVED PHOTO#11.4 WALLS TO BE REMOVED



PHOTO#12.4 WINDOW AND DOOR TO BE REMOVED PHOTO#13.4 WALLS TO BE REMOVED PHOTO#14.4 OFFICE WALLS TO BE REMOVED



DEMOLITION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS:** REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS: THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH.** CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS.** IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR-TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS** (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUB-THE NEW INSTALLATION.
- FOR ALL DEMOLITION SCOPE,** REFER TO SPECS AND DSS REPORT FOR AREAS THAT REQUIRE ABATEMENT. CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN DRAWINGS AND DSS REPORT TO DETERMINE THE EXTENT AND TYPE OF ABATEMENT FOR KNOWN AREAS.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONCRETE BLOCK WALL, PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
5	REMOVE EXISTING DOOR AND FRAME.
17	REMOVE ELEVATOR HALL DOOR.
25	DEMOLISH EXISTING CONCRETE STAIR. REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
32	LOWER AND WIDEN ELEVATOR HALL DOOR OPENING TO FIT NEW ELEVATOR HALL DOOR.
40	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL SHEET A8006.
43	REMOVE EXISTING WINDOW AND FRAME TO REPLACE WITH SECONDARY EXIT DOOR.
47	REMOVE EXISTING WALL ENCLOSURE AND FINISH IN THE ELEVATOR AREA. TO BE SITE-VERIFIED. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. REFER TO FINISH SCHEDULE.

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CONSULTANTS

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PRIME CONSULTANT

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www.arcadis.com

PROJECT TITLE
**50 RICHMOND ST. E.
RENOVATIONS**

PROJECT ADDRESS

**50 RICHMOND STREET EAST
TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

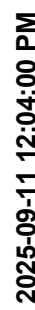
PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

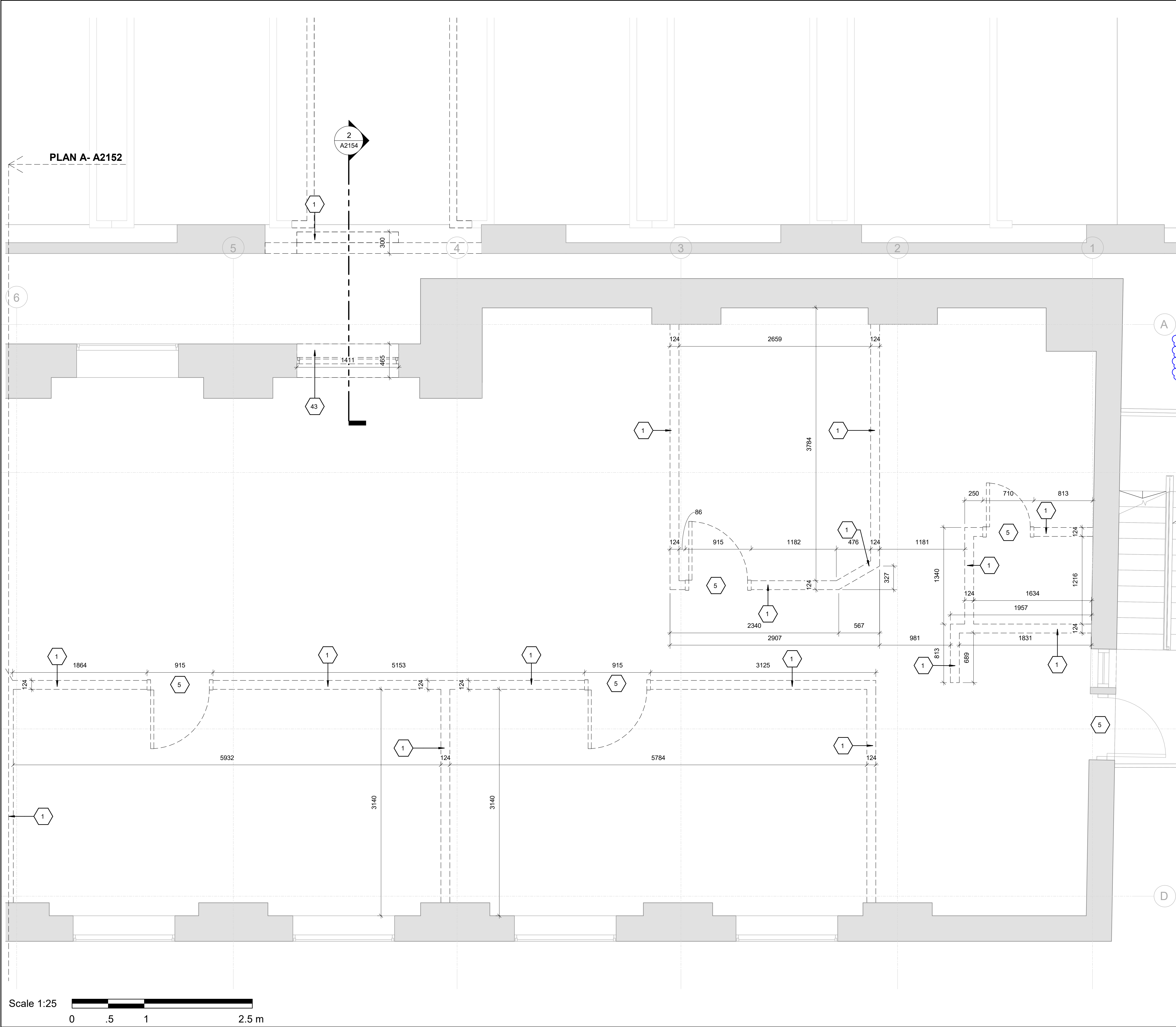
SHEET TITLE
**FOURTH FLOOR
DEMOLITION OVERALL
PLAN**

SHEET NUMBER
A2151

ISSUE
H



ISSU
H



DEMOLITION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS. IN ORDER TO APPLY INTUMESCENT COATING WITH MIN: 1 HOUR FIRE RATING (ULC DESIGN NO. X842) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SURT THE NEW INSTALLATION.
- FOR ALL DEMOLITION SCOPE, REFER TO SPECS AND DSS REPORT FOR AREAS THAT REQUIRE ABATEMENT. CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN DRAWINGS AND DSS REPORT TO DETERMINE THE EXTENT AND TYPE OF ABATEMENT FOR KNOWN AREAS.

DEMOLITION KEY NOTES

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1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
5	REMOVE EXISTING DOOR AND FRAME.
43	REMOVE EXISTING WINDOW AND FRAME TO REPLACE WITH SECONDARY EXIT DOOR.

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KEYPLAN

CONSULTANTS

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ARCADIS

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Toronto, ON M9W 0C9, Canada
tel 416 679 1930
www.arcadis.com

PROJECT TITLE

50 RICHMOND ST. E.
RENOVATIONS

PROJECT ADDRESS

50 RICHMOND STREET EAST
TORONTO, ONTARIO

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

FOURTH FLOOR
DEMOLITION ENLARGED
PLAN B

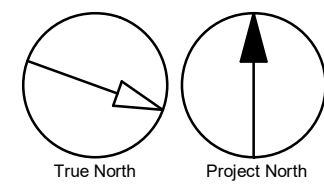
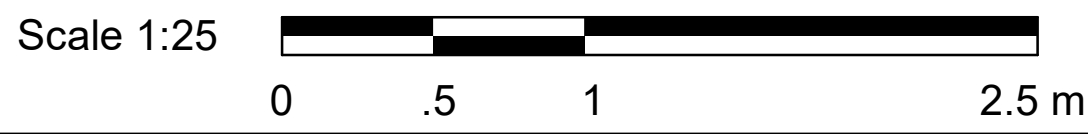
SHEET NUMBER

A2153

ISSUE

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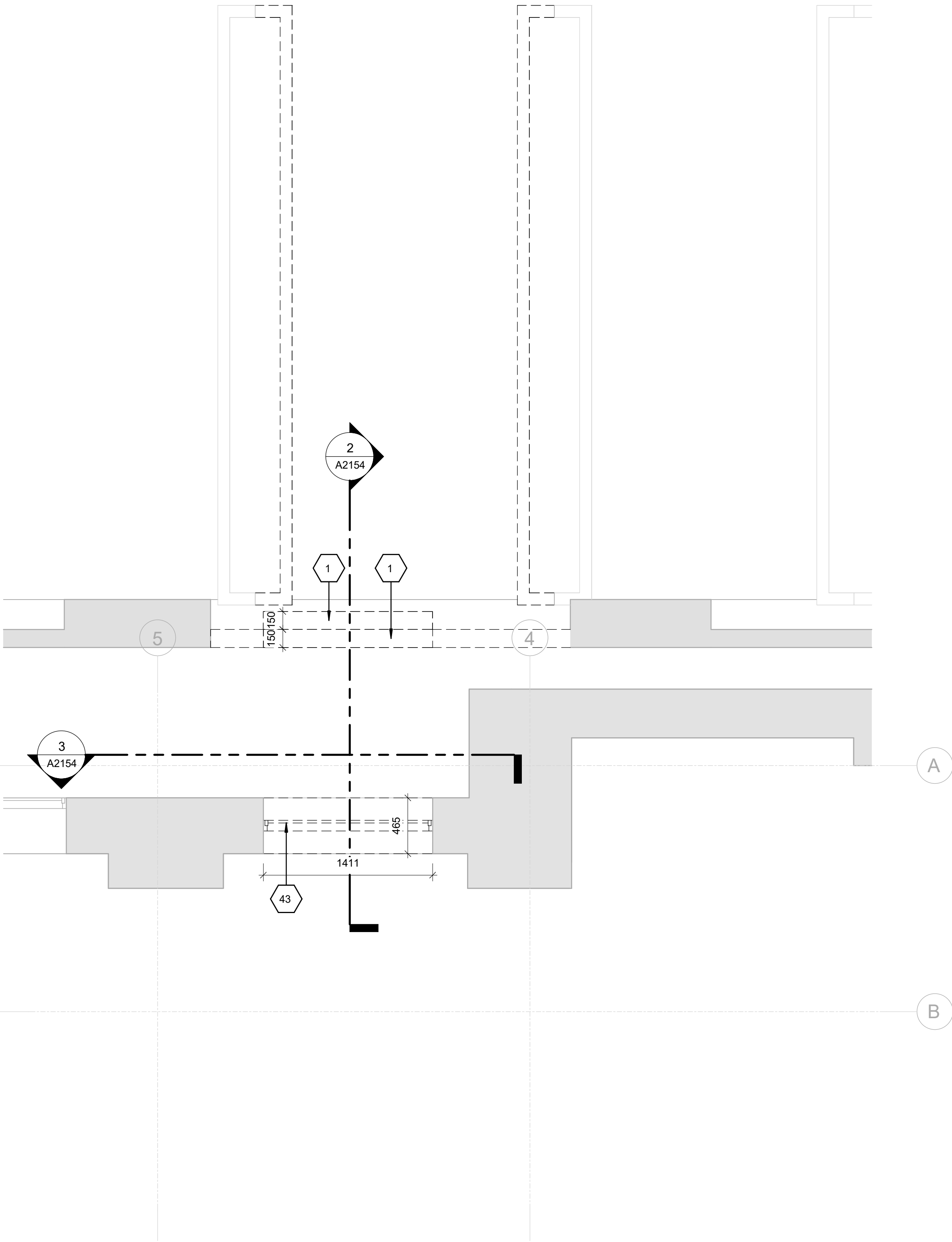
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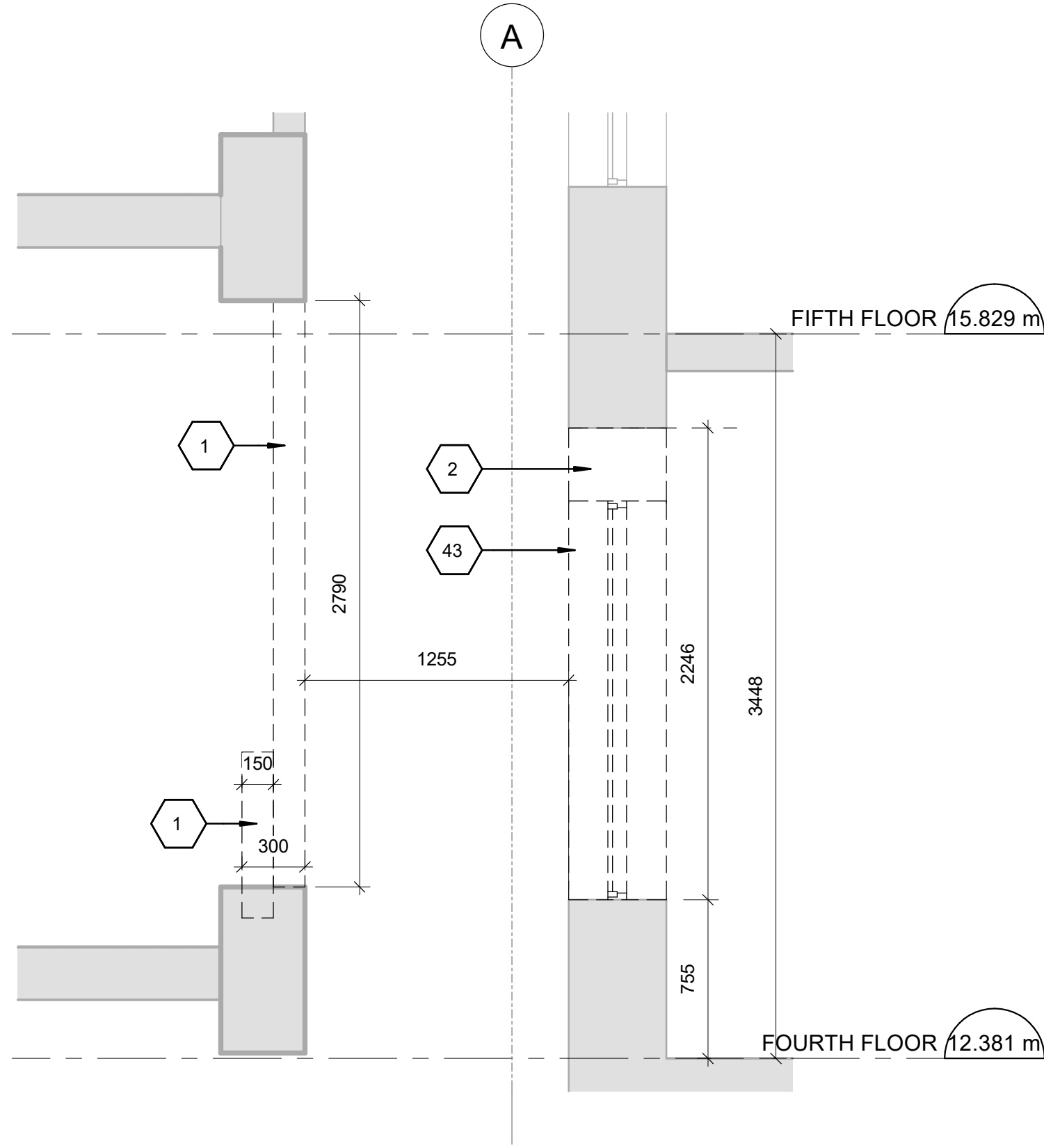
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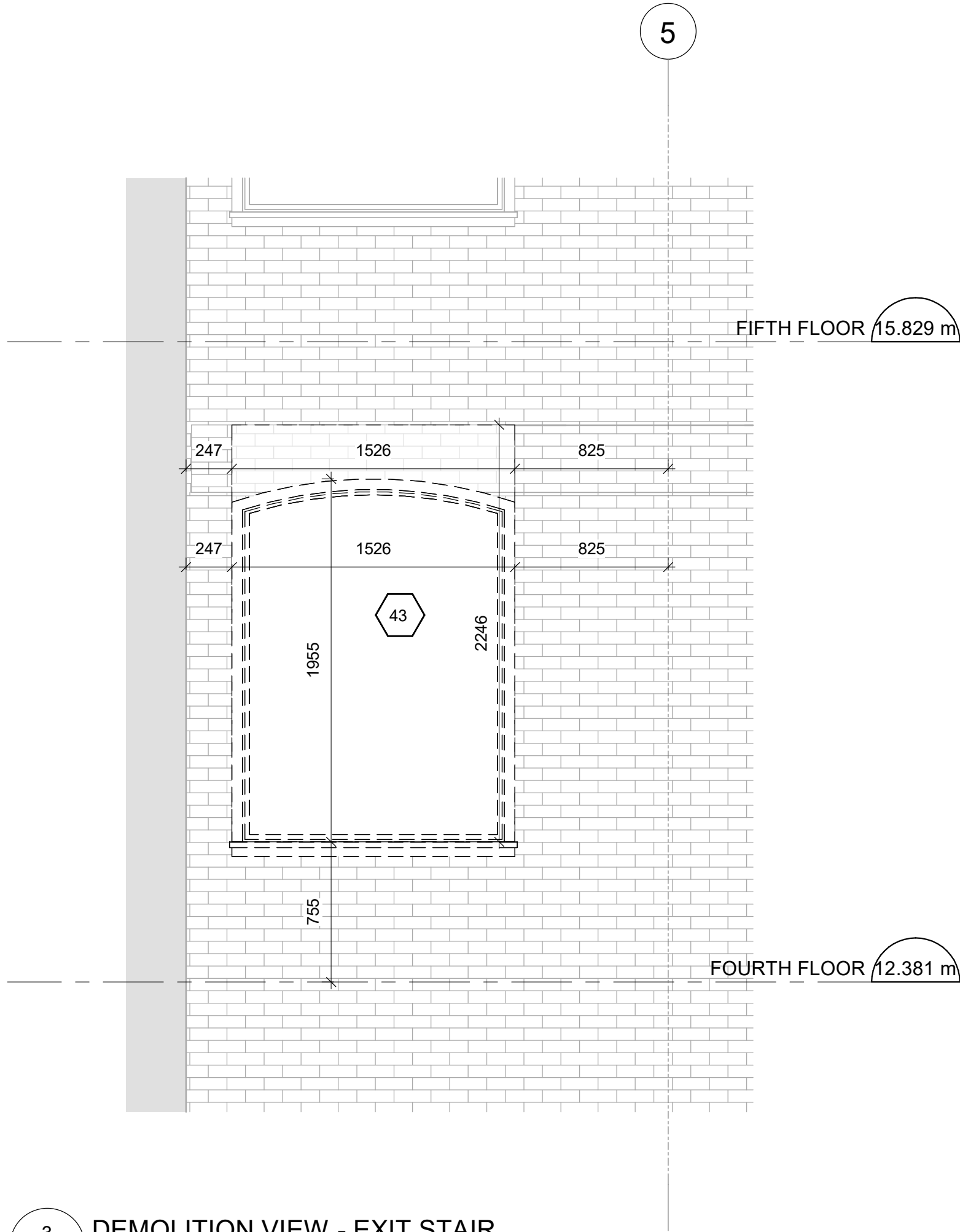
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A2154 Scale: 1 : 25



2 DEMOLITION SECTION - EXIT STAIR
A2154 Scale: 1 : 25



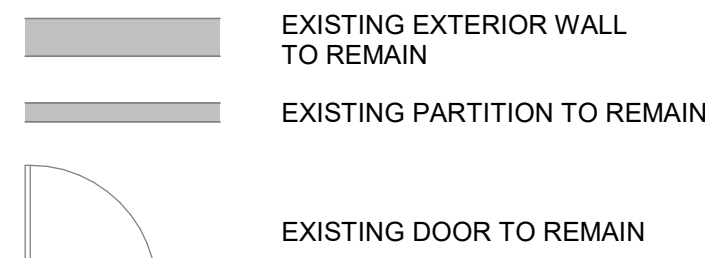
3 DEMOLITION VIEW - EXIT STAIR
A2154 Scale: 1 : 25



DEMOLITION KEY NOTES

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2	REMOVE EXISTING CONCRETE BLOCK WALL. PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
43	REMOVE EXISTING WINDOW AND FRAME TO REPLACE WITH SECONDARY EXIT DOOR.

DEMOLITION KEY LEGEND



DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS:** REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH.** CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS.** IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
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9119-19-0162 / 30286113

DRAWN BY:

O. AVRAM

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUA

SHEET TITLE

SECONDARY EXIT -
FOURTH FLOOR
DEMOLITION PLAN

SHEET NUMBER

A2154

ISSUE

H

Autodesk Docs // 122260 - Cot TAU Upgrades R2024/122260-TAU-33-50-Richmond-A-R24.rvt

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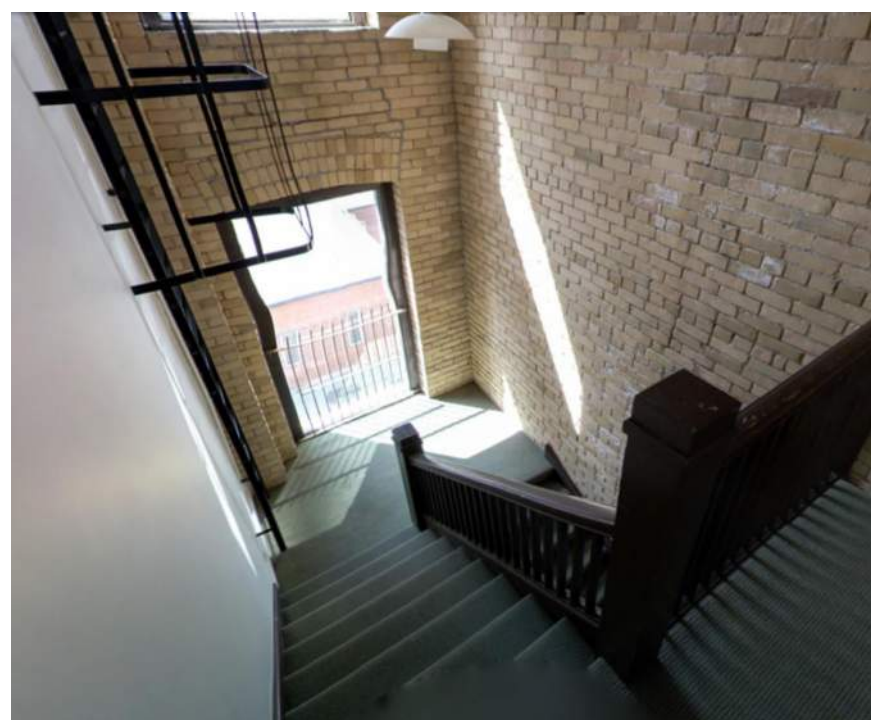
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PHOTO#1.5 ELEVATOR DOOR TO BE REMOVED



PHOTO#2.5 WALLS TO BE REMOVED



PHOTO#3.5 EXISTING STAIR



PHOTO#4.5 WALLS TO BE REMOVED



PHOTO#5.5 WALLS TO BE REMOVED



PHOTO#6.5 WALLS TO BE REMOVED



PHOTO#7.5 WASHROOM TO BE REMOVED



PHOTO#8.5 WALLS TO BE REMOVED



PHOTO#9.5 WALLS TO BE REMOVED



PHOTO#10.5 WALLS TO BE REMOVED



PHOTO#11.5 WALLS TO BE REMOVED



PHOTO#12.5 WALLS TO BE REMOVED



PHOTO#13.5 WALLS TO BE REMOVED



PHOTO#14.5 WALLS TO BE REMOVED



PHOTO#15.5 OFFICE WALLS TO BE REMOVED

DEMOLITION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS: THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS. IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X842) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR-TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUB-THE NEW INSTALLATION.
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DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
5	REMOVE EXISTING DOOR AND FRAME.
7	REMOVE EXISTING INTERIOR WINDOW AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
17	REMOVE ELEVATOR HALL DOOR.
25	DEMOLISH EXISTING CONCRETE STAIR. REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
32	LOWER AND WIDEN ELEVATOR HALL DOOR OPENING TO FIT NEW ELEVATOR HALL DOOR.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.
40	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL SHEET A8006.
47	REMOVE EXISTING WALL ENCLOSURE AND FINISH IN THE ELEVATOR AREA. TO BE SITE-VERIFIED, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. REFER TO FINISH SCHEDULE.

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Metro Hall Toronto, ON
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No.	DESCRIPTION	DATE
B	50% SUBMISSION	2024-10-31
C	75% SUBMISSION	2025-03-21
D	60% REVIEW SET	2025-07-03
F	ISSUED FOR PERMIT 100%	2025-07-31
G	ISSUED FOR TENDER	2025-09-02
H	ADDENDUM #2	2025-09-11

CONSULTANTS

SEAL

PRIME CONSULTANT
ARCADIS
100 - 175 Galaxy Blvd,
Toronto, ON M9W 0C9, Canada
tel 416 679 1930
www.arcadis.com

PROJECT TITLE
**50 RICHMOND ST. E.
RENOVATIONS**

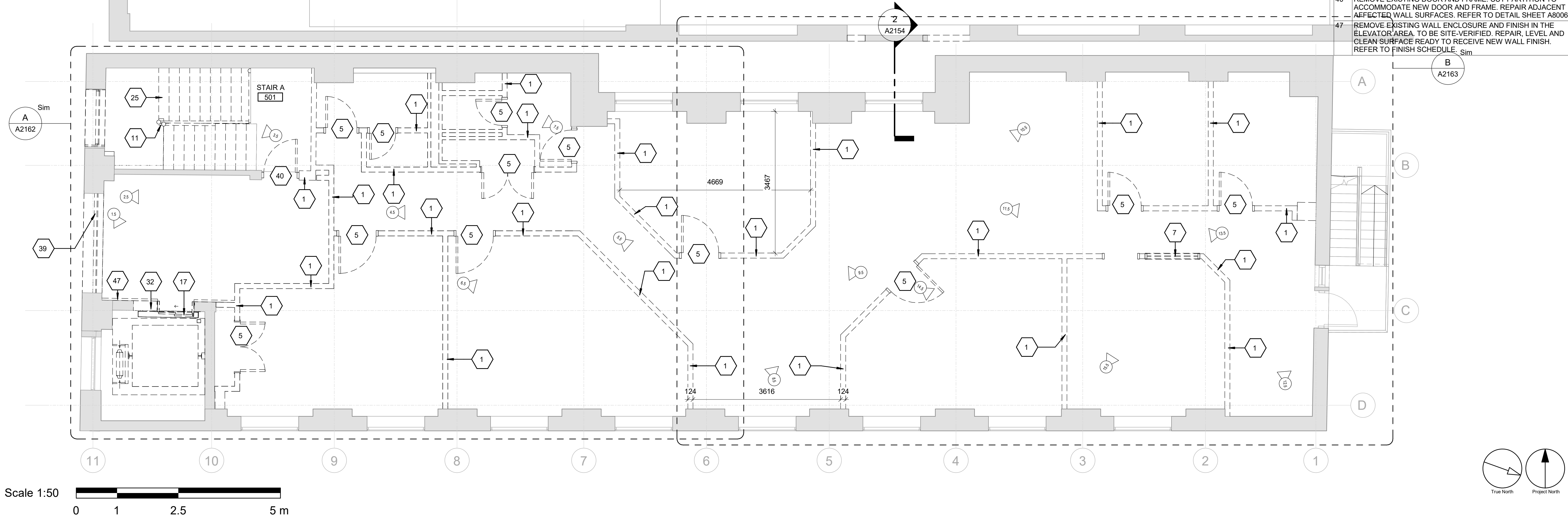
PROJECT ADDRESS

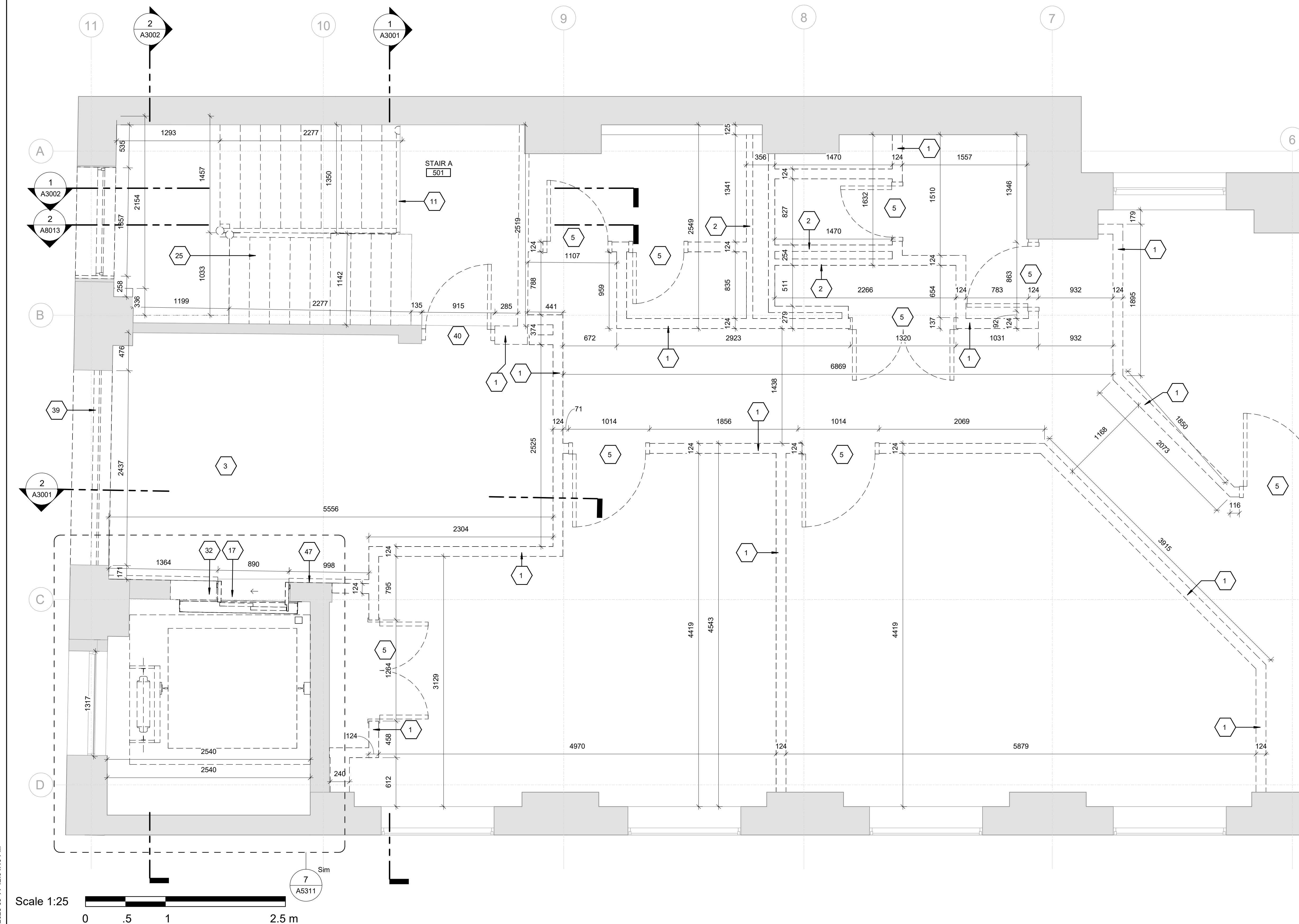
**50 RICHMOND STREET EAST
TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113
DRAWN BY:
O. AVRAM
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
L. BANDIERA
APPROVED BY:
E. FENUTA

SHEET TITLE
**FIFTH FLOOR DEMOLITION
OVERALL PLAN**

SHEET NUMBER
A2161
ISSUE
H



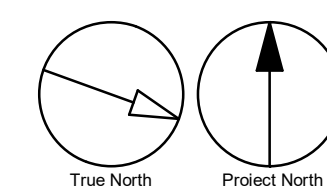


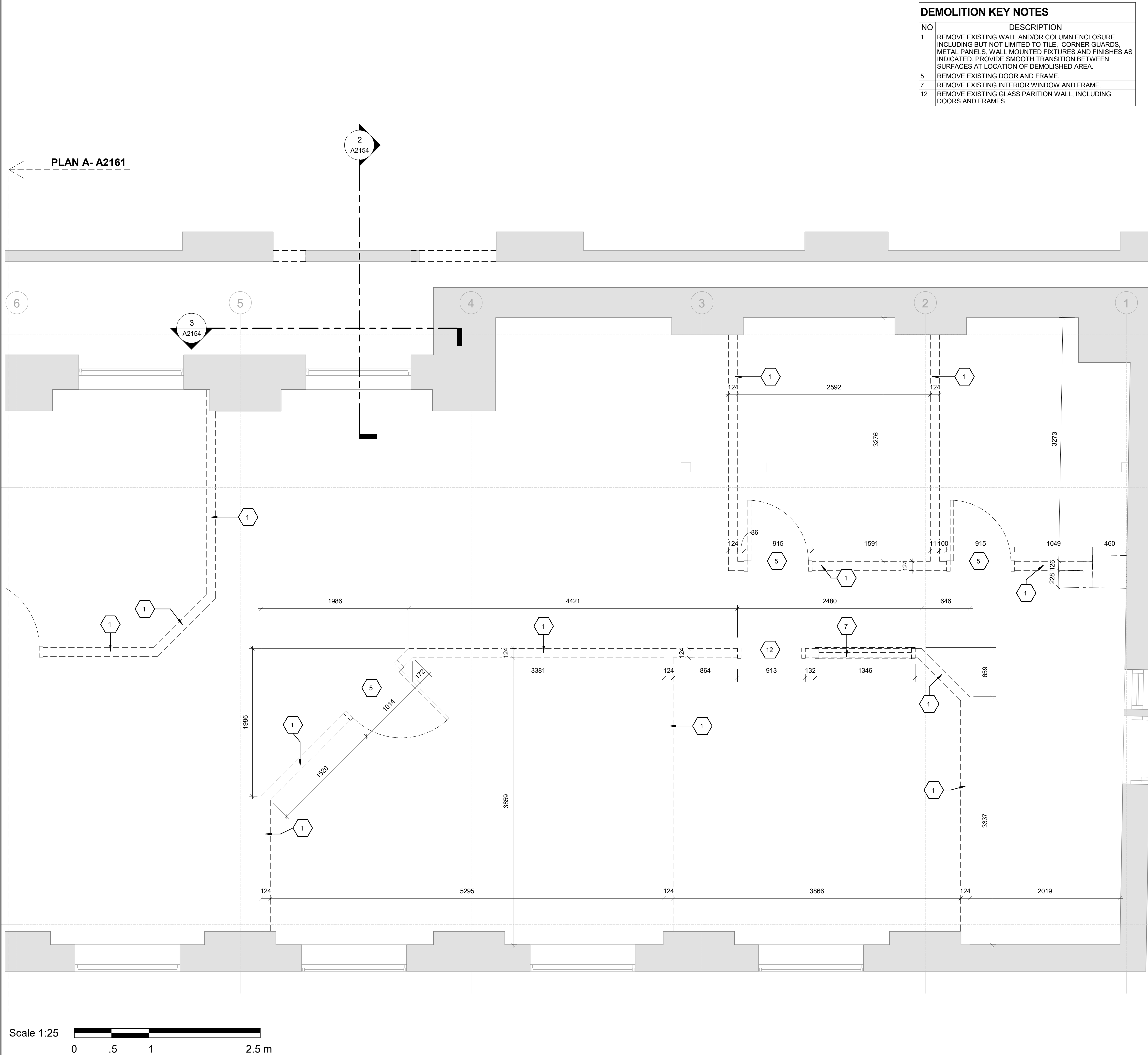
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0 .5 1 2.5 m

ISSUE	H
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DEMOLITION KEY NOTES	
NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
5	REMOVE EXISTING DOOR AND FRAME.
7	REMOVE EXISTING INTERIOR WINDOW AND FRAME.
12	REMOVE EXISTING GLASS PARTITION WALL, INCLUDING DOORS AND FRAMES.

DEMOLITION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- PERIMETRAL WALLS: REMOVE ALL EXISTING GYPSUM BOARD FINISH ON PERIMETRAL WALLS. AS PER PROPOSED PLANS. THE AREAS TO REMAIN EXPOSED WILL BE CLEANED, PATCHED AND REPAIRED, AND FILLED WITH COLOUR MATCHING MORTAR WHEN REQUIRED.
- REMOVE ALL EXISTING FLOOR FINISH. CLEAN, PATCH AND REPAIR TO RECEIVE NEW FLOOR FINISHES, AS PER THE PROPOSED PLANS.
- REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS. IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR -TYP.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.
- FOR ALL DEMOLITION SCOPE, REFER TO SPECS AND DSS REPORT FOR AREAS THAT REQUIRE ABATEMENT. CONTRACTOR IS RESPONSIBLE FOR COORDINATING BETWEEN DRAWINGS AND DSS REPORT TO DETERMINE THE EXTENT AND TYPE OF ABATEMENT FOR KNOWN AREAS.

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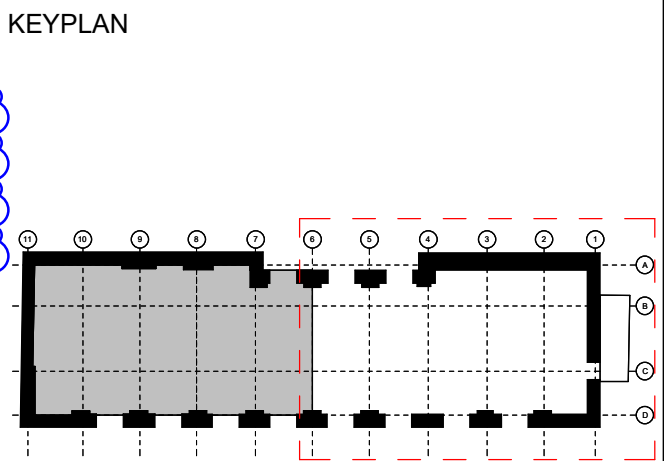
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PROJECT TITLE

50 RICHMOND ST. E.
RENOVATIONS

PROJECT ADDRESS

50 RICHMOND STREET EAST
TORONTO, ONTARIO

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

FIFTH FLOOR DEMOLITION
ENLARGED PLAN B

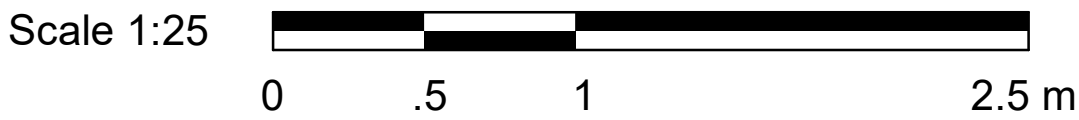
SHEET NUMBER

A2163

ISSUE

H

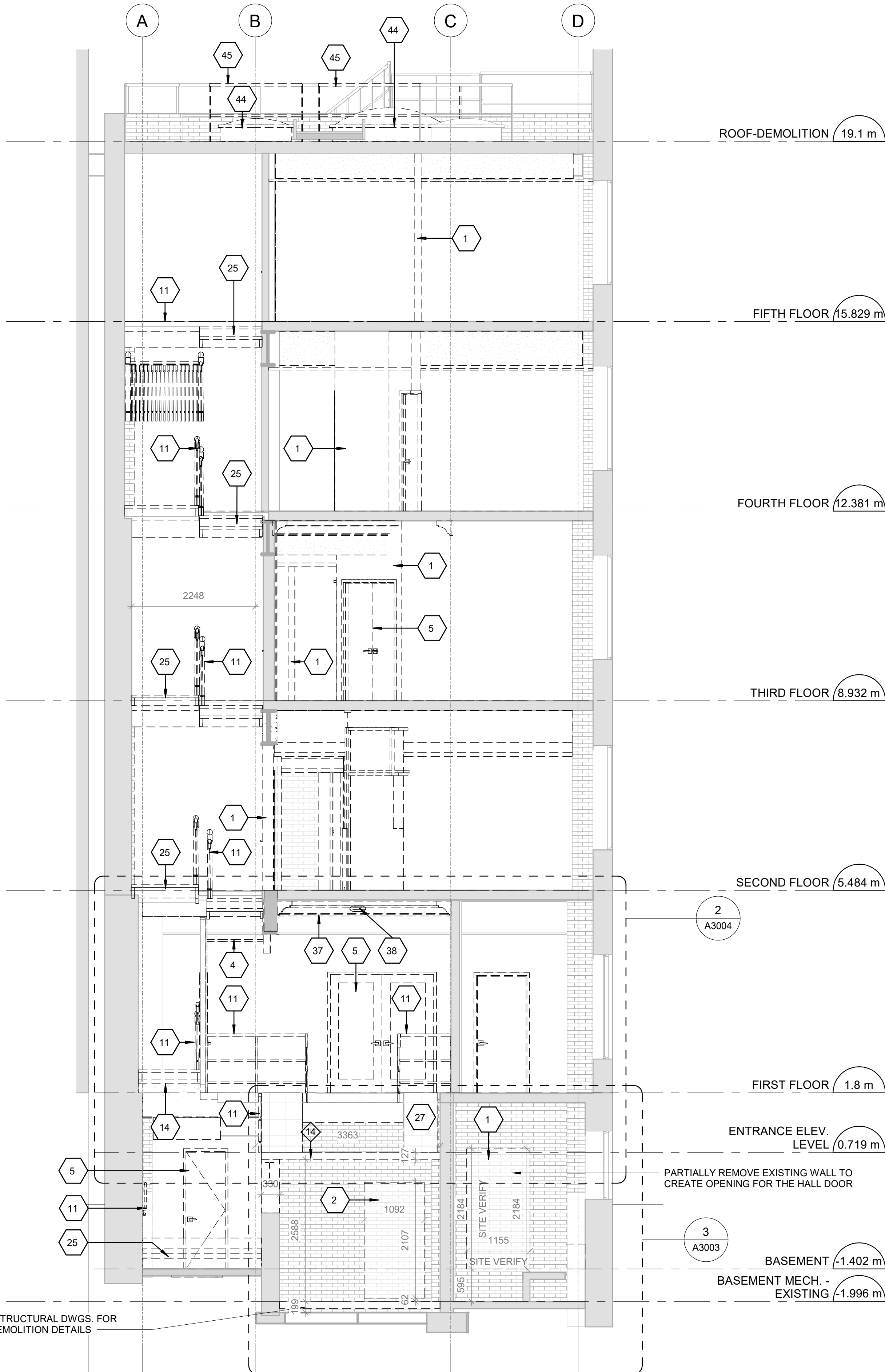
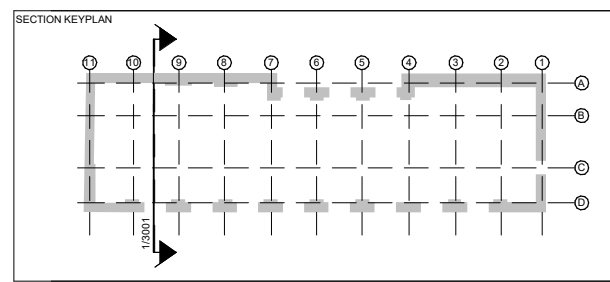
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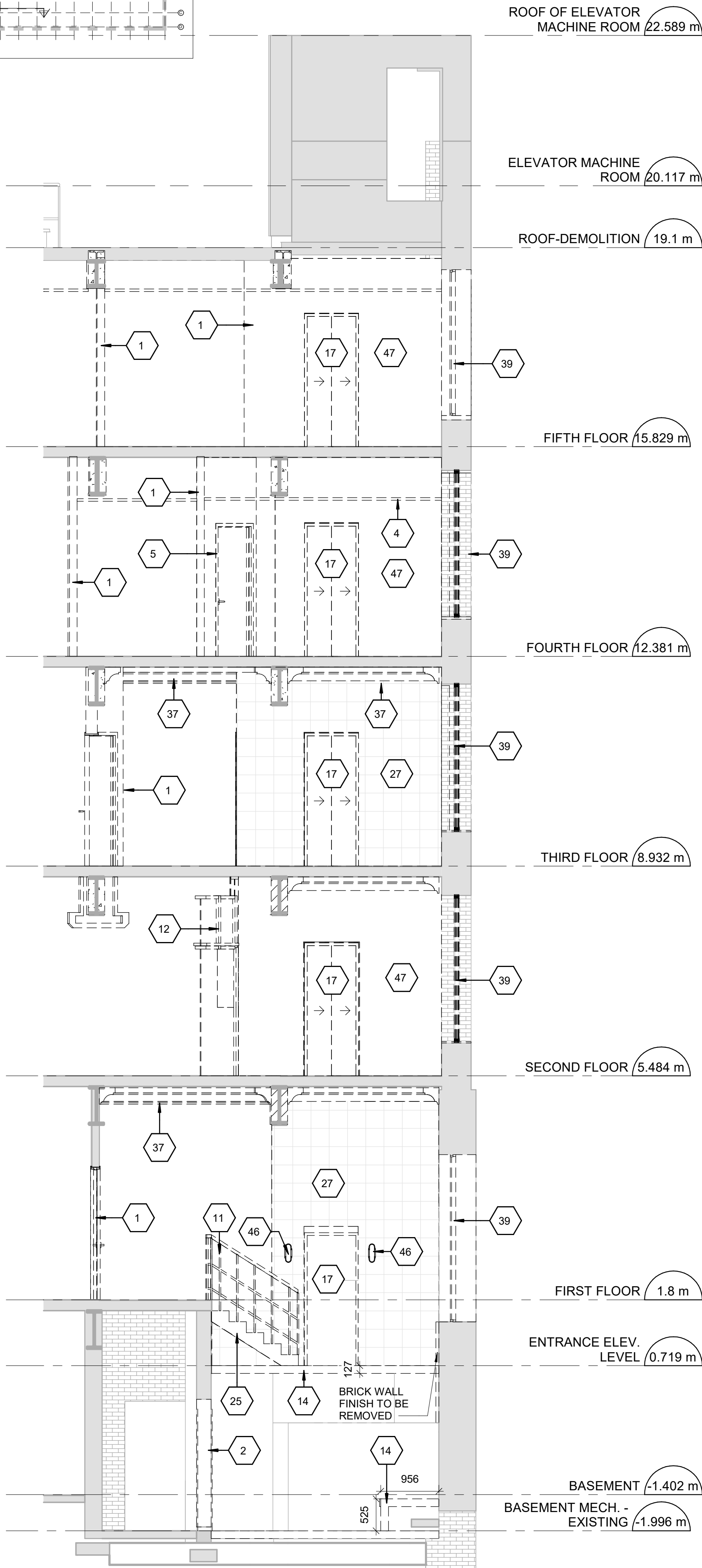
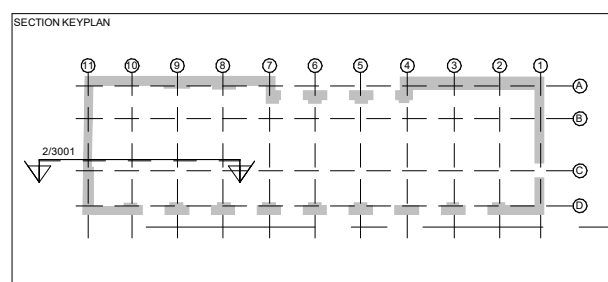
Autodesk Docs // 122860 - Cot TAU Upgrades R20241228007TAU-33-50-Richmond-A-R24.rvt 1/16

FIRE RATING NOTE

REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS, IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR TYP.



1 DEMOLITION SECTION AT MAIN ENTRANCE AND BASEMENT MECHANICAL ROOM
A3001 Scale: 1 : 50



2 DEMOLITION SECTION- ENTRANCE ELEVATOR
A3001 Scale: 1 : 50

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONCRETE BLOCK WALL, PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
5	REMOVE EXISTING DOOR AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
12	REMOVE EXISTING GLASS PARTITION WALL, INCLUDING DOORS AND FRAMES.
14	SAW CUT AND REMOVE FLOORING AND CONCRETE FLOOR SLAB/ CURB. LOWER EXISTING SLAB - REFER TO STRUCTURAL DWGS.
17	REMOVE ELEVATOR HALL DOOR.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR, PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
27	REMOVE EXISTING WALL TILE. SITE-VERIFY, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW TILE FINISH IN THE GROUND FLOOR- MAIN RECEPTION AREA. REFER TO FINISH SCHEDULE.
37	REMOVE EXISTING CEILING PLINTH AND REPLACE WITH NEW ONE OF SIMILAR SHAPE AND SIZE.
38	REMOVE EXISTING LIGHTING FIXTURES.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.
44	REMOVE SKYLIGHT AND CURB, PATCH AND REPAIR ANY DAMAGE TO THE ROOF ONCE SKYLIGHTS AND CURBS ARE REMOVED.
45	REMOVE EXISTING LIFELINE/GUARDS.
46	REMOVE EXISTING WALL LAMP.
47	REMOVE EXISTING WALL ENCLOSURE AND FINISH IN THE ELEVATOR AREA. TO BE SITE-VERIFIED. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL FINISH. REFER TO FINISH SCHEDULE.

NOTES

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Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
M5V 3C6

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PROJECT TITLE
**50 RICHMOND ST. E.
RENOVATIONS**

PROJECT ADDRESS

**50 RICHMOND STREET EAST
TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

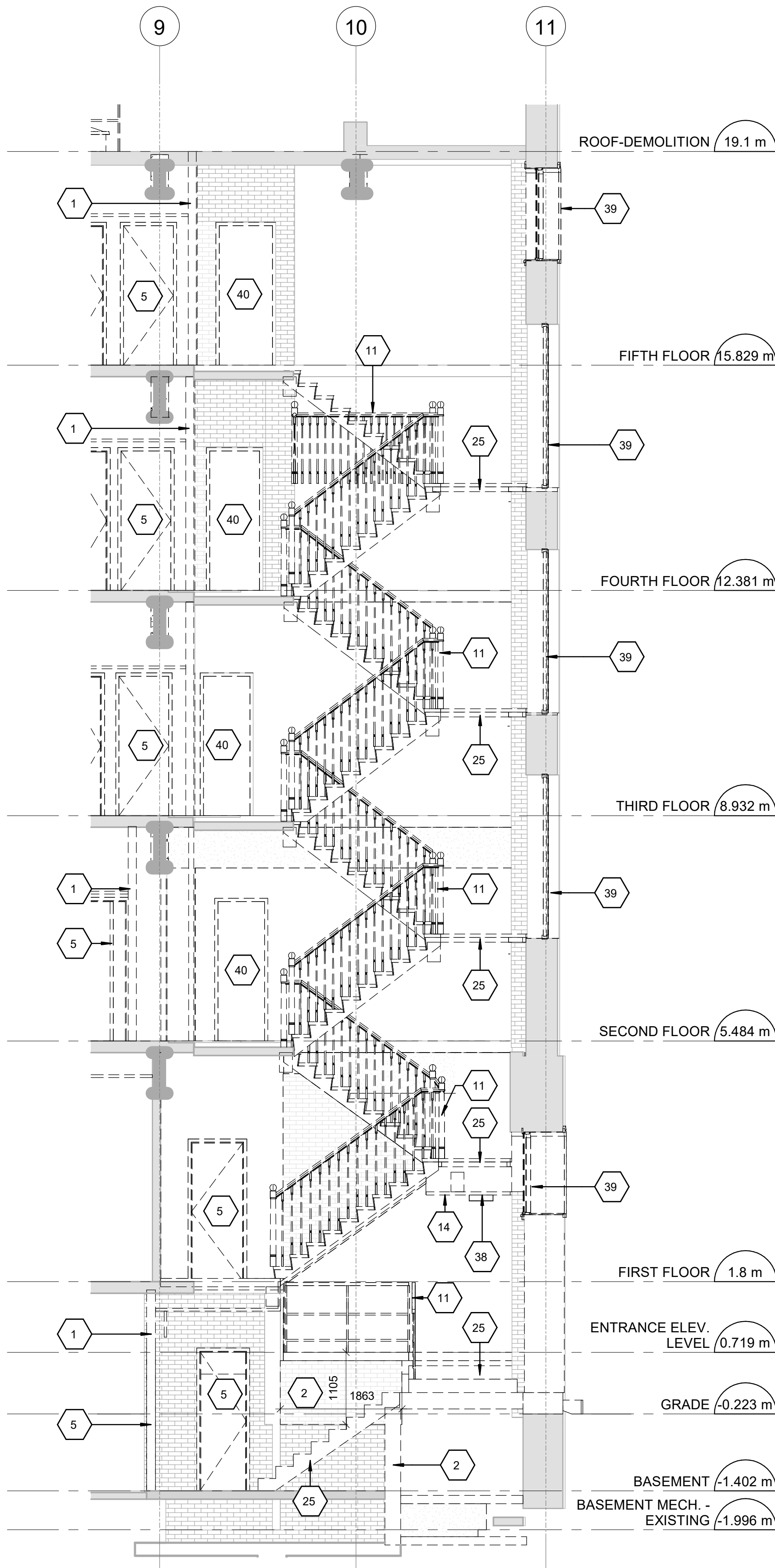
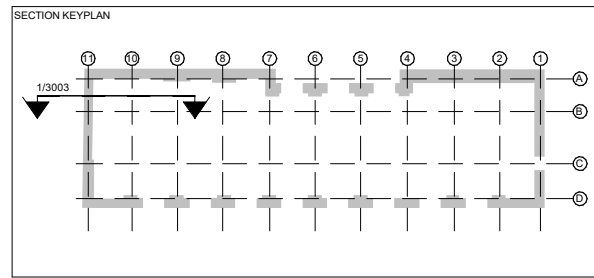
SHEET TITLE
DEMOLITION SECTIONS

SHEET NUMBER
A3001

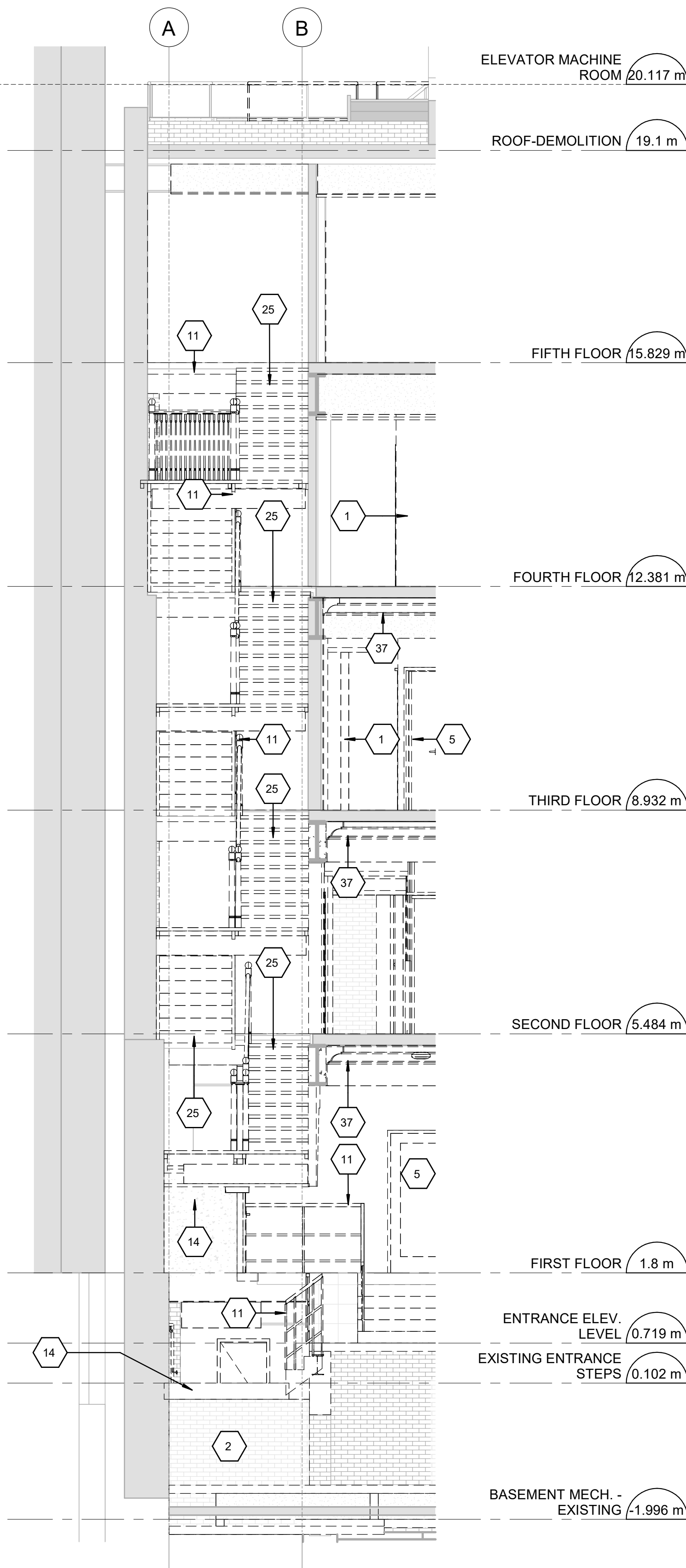
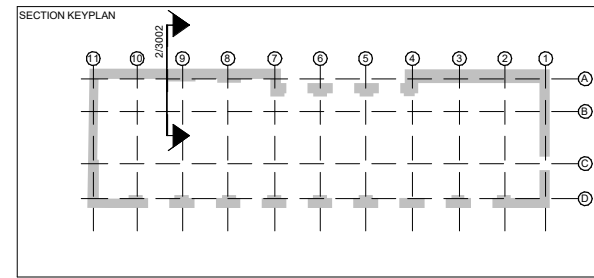
ISSUE
G

FIRE RATING NOTE

REMOVE ALL EXISTING GYPSUM BOARD AROUND THE EXISTING BEAMS, IN ORDER TO APPLY INTUMESCENT COATING WITH MIN. 1 HOUR FIRE RATING (ULC DESIGN NO. X642) ON ALL EXISTING STEEL BEAMS AND UNDERSIDE OF EXISTING WOOD DECK ON EACH FLOOR TYP.



1 DEMOLITION SECTION
A3002 Scale: 1 : 50



2 DEMOLITION SECTION MAIN STAIRCASE
A3002 Scale: 1 : 50

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- █ EXISTING EXTERIOR WALL TO REMAIN
- █ EXISTING PARTITION TO REMAIN

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONCRETE BLOCK WALL, PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. PROVIDE LINTEL, REFER TO STRUCTURAL FOR DETAILS.
5	REMOVE EXISTING DOOR AND FRAME.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
14	SAW CUT AND REMOVE FLOORING AND CONCRETE FLOOR SLAB/ CURB. LOWER EXISTING SLAB - REFER TO STRUCTURAL DWGS.
25	DEMOLISH EXISTING CONCRETE STAIR, REMOVE DEBRIS AND PREPARE FOR NEW STAIR. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
37	REMOVE EXISTING CEILING PLINTH AND REPLACE WITH NEW ONE OF SIMILAR SHAPE AND SIZE.
38	REMOVE EXISTING LIGHTING FIXTURES.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.
40	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL SHEET A8006.

NOTES

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PROJECT TITLE
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PROJECT ADDRESS

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TORONTO, ONTARIO**

PROJECT NO:
9119-19-0162 / 30286113

DRAWN BY:
O. AVRAM

CHECKED BY:
L. BANDIERA

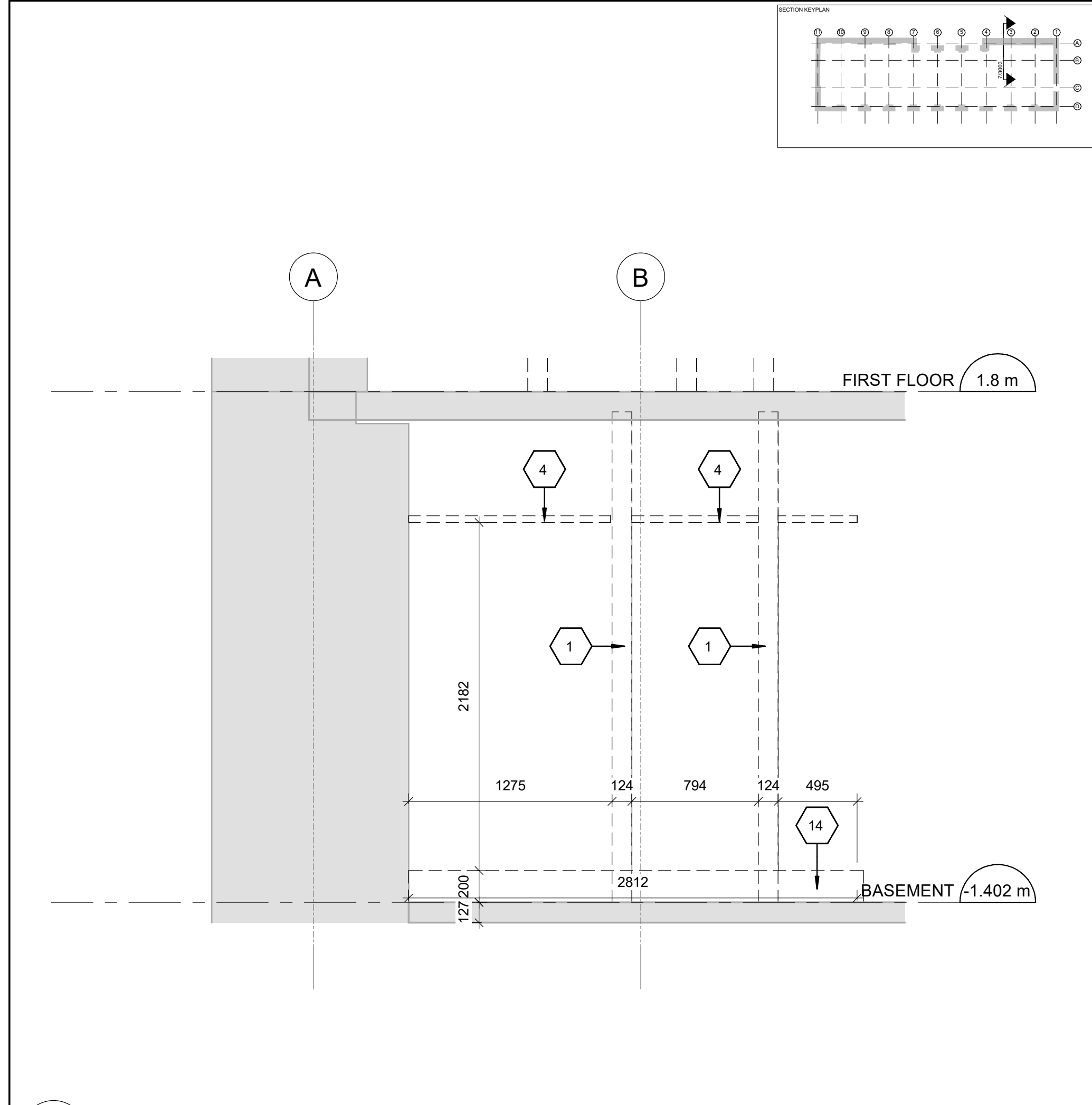
PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

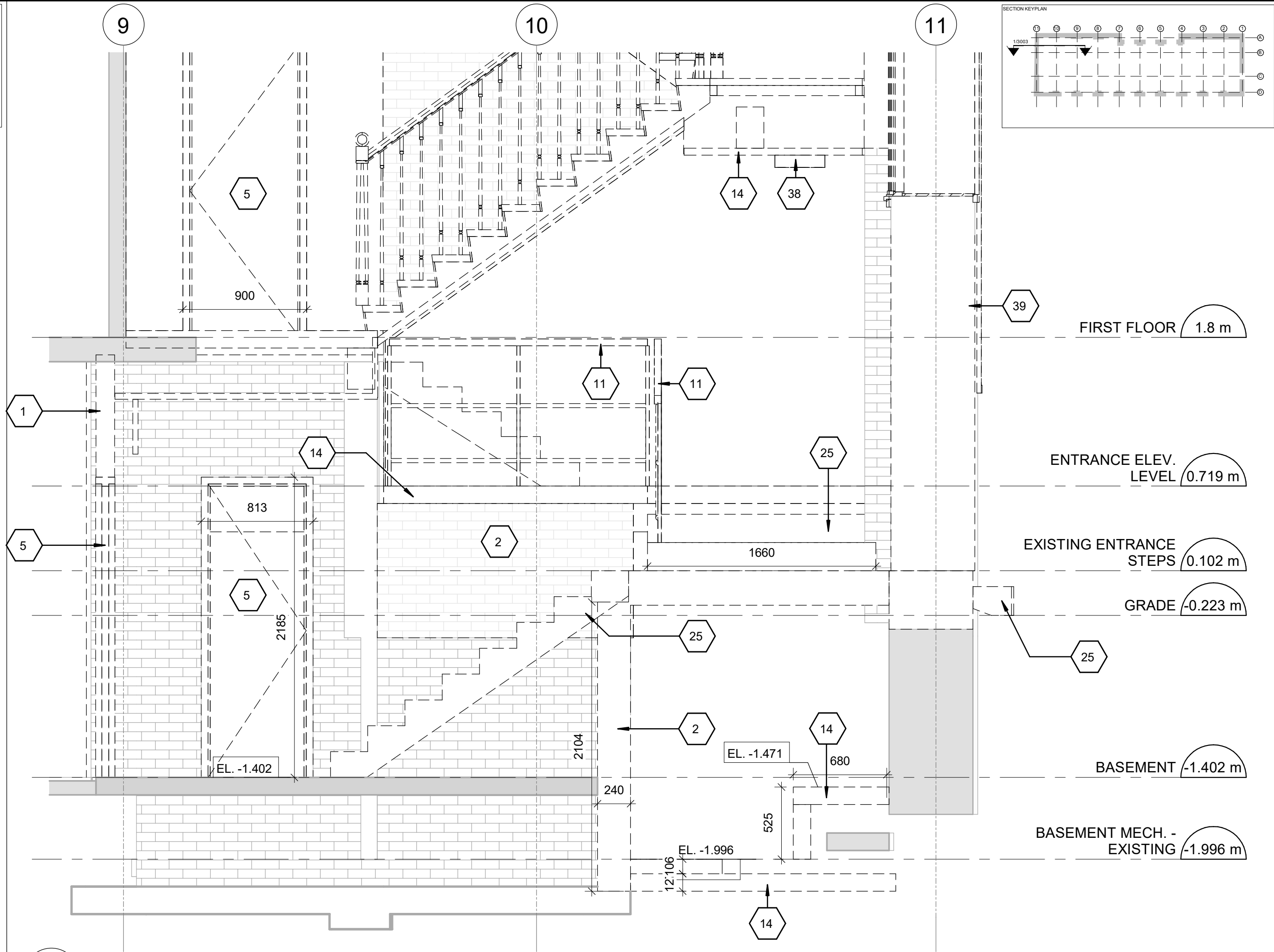
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DEMOLITION SECTIONS

SHEET NUMBER
A3002

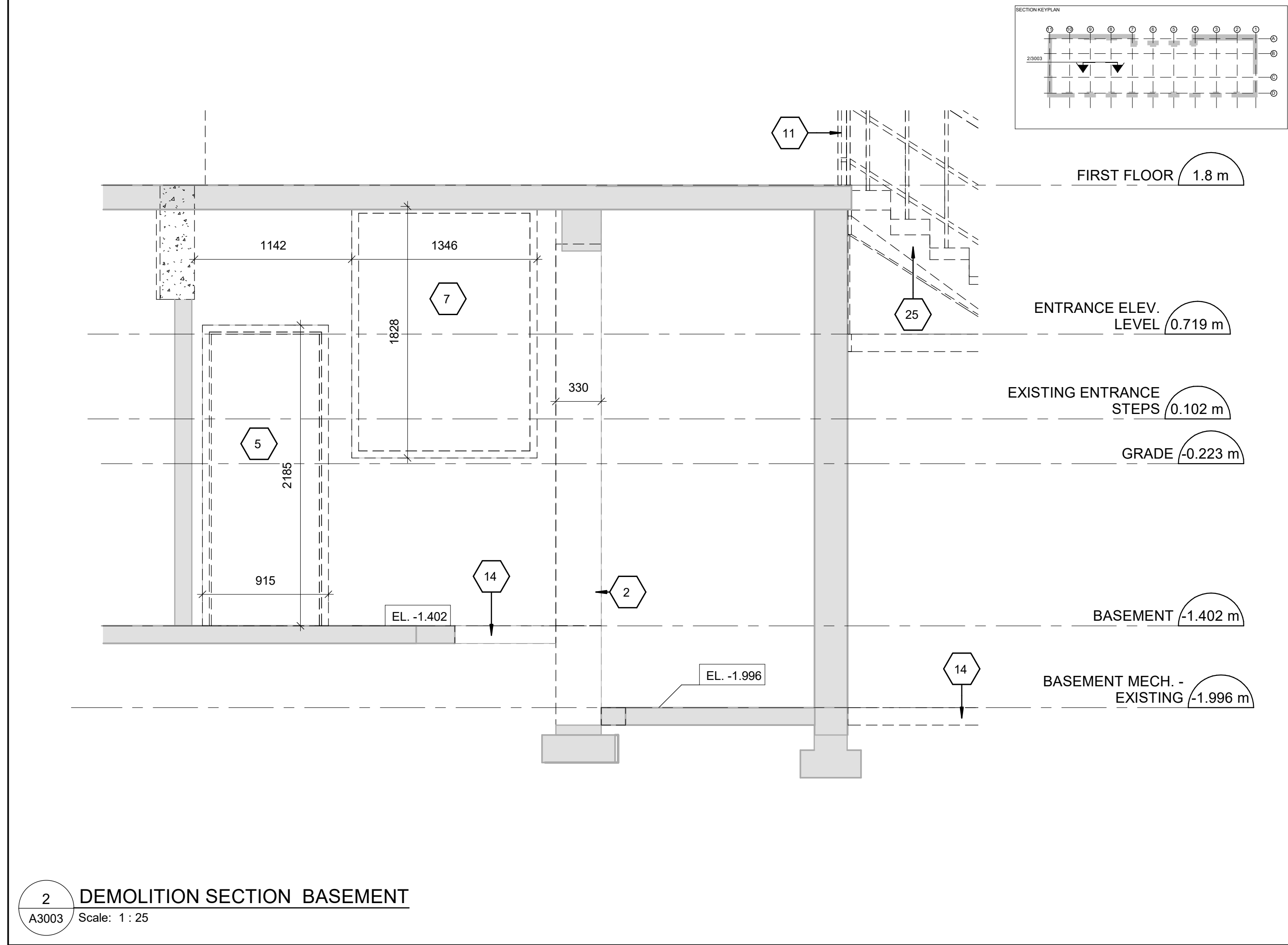
ISSUE
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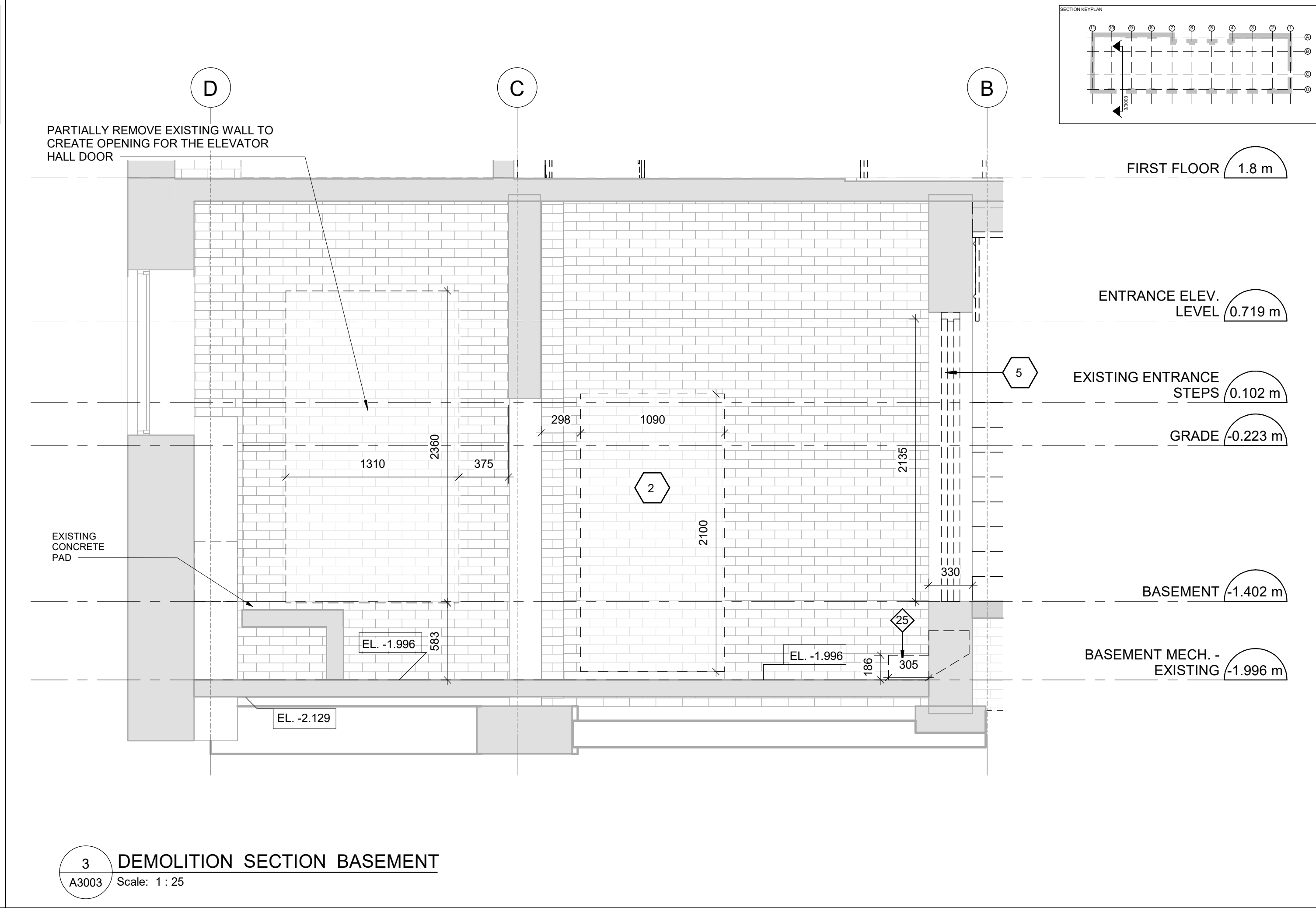
7 DEMOLITION SECTION BASEMENT
A3003 Scale: 1 : 25



1 DEMOLITION SECTION BASEMENT
A3003 Scale: 1 : 25



2 DEMOLITION SECTION BASEMENT
A3003 Scale: 1 : 25



3 DEMOLITION SECTION BASEMENT
A3003 Scale: 1 : 25

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- █ EXISTING EXTERIOR WALL TO REMAIN
- █ EXISTING PARTITION TO REMAIN

DEMOLITION KEY NOTES

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14	SAW CUT AND REMOVE FLOORING AND CONCRETE FLOOR SLAB/ CURB. LOWER EXISTING SLAB - REFER TO STRUCTURAL DWGS.
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38	REMOVE EXISTING LIGHTING FIXTURES.
39	REMOVE EXISTING WINDOW AND FRAME TO ACCOMMODATE NEW.

NOTES

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PROJECT NO:

9119-19-0162 / 30286113

DRAWN BY:

O. AVRAM

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

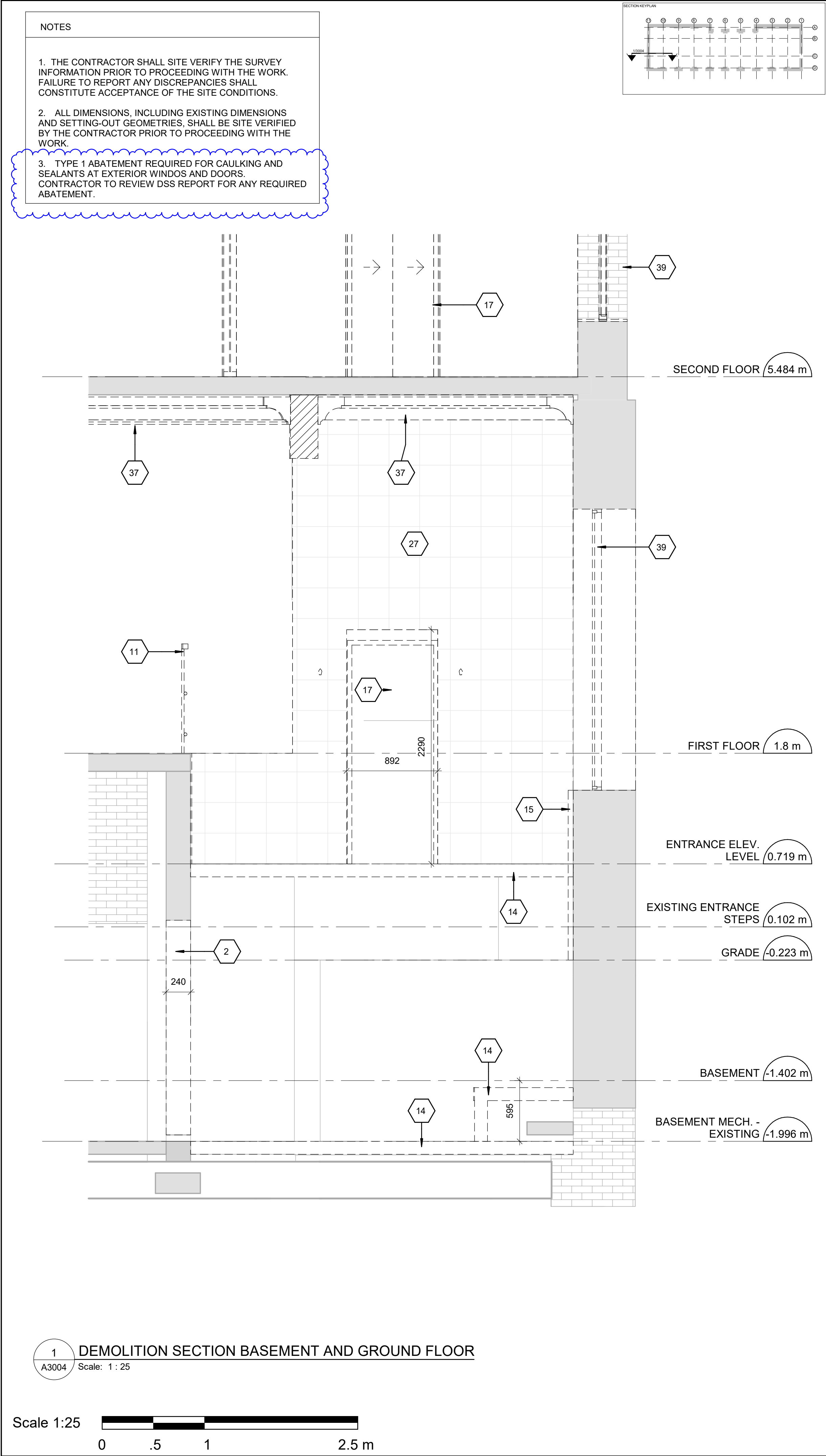
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SECTIONS - BASEMENT**

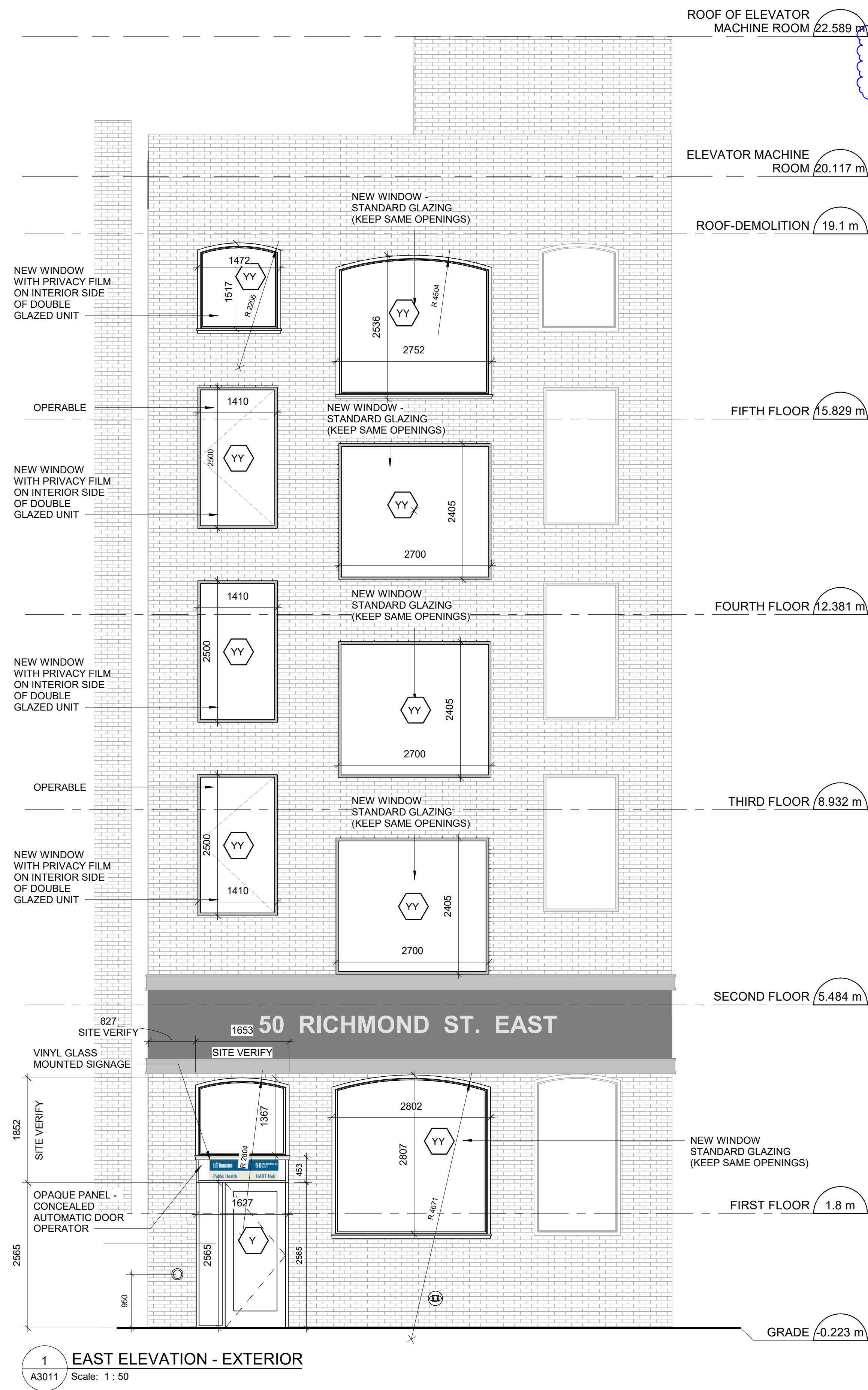
SHEET NUMBER

A3003

ISSUE

G





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PROJECT NO:
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DRAWN BY

O. AVRAM

PROJECT M

F. BOLOURI

SHEET TITLE

MAIN ELEVATION

SHEET NUMBER

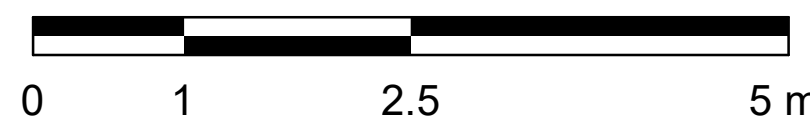
A3011

ISSU

C

2025-09-11 12:04:17 PM

Scale 1:50



SCALE CHECK	Autodesk Docu://122260 CoTTAll logradec B2024/122260 TAIL 22 50 Richmond & B24 04
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